



**NOTICE OF MEETING
PLANNING & ZONING COMMISSION
OF MARBLE FALLS, TEXAS
Thursday, January 5, 2017 – 6:00 PM**

A quorum of the Marble Falls City Council and the Economic Development Corporation may be present

Fred Zagst, <i>Vice-Chairman</i>	Steve Reitz, <i>Chairman</i>	Mike Hodge, <i>City Manager</i>
Dee Haddock, <i>Commissioner</i>		Caleb Kraenzel, <i>Assistant City Manager</i>
Thomas E. Barr, <i>Commissioner</i>		Elizabeth Yeh, <i>City Planner</i>
Darlene Oostermeyer, <i>Commissioner</i>		Chelsea Seiter-Weatherford, <i>GIS Analyst</i>
Greg Mills, <i>Commissioner</i>		Scarlet Contreras, <i>Commission Secretary</i>
Jason Coleman, <i>Commissioner</i>		Patty Akers, <i>City Attorney</i>

The City of Marble Falls Planning & Zoning Commission will meet on **Thursday, January 5, 2017**, in **regular session at 6:00 p.m.** in the City Council Chambers at 800 Third Street, Marble Falls, Texas.

The agenda listed below is distributed to the Chair, Commission members, and the Marble Falls Public Library no later than the Monday preceding the Commission meeting. The agenda is also posted on the City's website: www.marblefallstx.gov

1. **CALL TO ORDER AND ANNOUNCE PRESENCE OF QUORUM**
2. **Citizen/Visitor Comments to be heard for items not on the agenda:** This is an opportunity for citizens to address the Planning and Zoning Commission concerning an issue of community interest that is not on the agenda. Comments on a specific agenda item must be made when the agenda item comes before the Commission. The Chair may place a time limit on all comments. Any deliberation of an issue raised during Citizen Comments is limited to a proposal to place it on the agenda for a later meeting.
3. **REGULAR AGENDA:** The Commission will individually consider and possibly take action on any or all of the following items:
 - A. **Approval of Minutes:** Minutes from the regular meeting on December 1, 2016. (*Scarlet Contreras, Commission Secretary*)
 - B. **Public Hearing, Discussion, and Recommendation:** Regarding a rezoning request from Main Street District (MSD) to Planned Development District (PDD) with base zoning of Main Street District (MSD) for Lot 1-B, Block 332, Marble Falls Original Township, City of Marble Falls, Burnet County, Texas. Case 2016-37-PDD. (*Texas General Corporation, applicant, and Heritage Hotels Crossroads, LLC, owner*)
 - C. **Public Hearing, Discussion, and Recommendation:** Regarding a Conditional Use Permit, with site plan approval, to allow Convenience Storage within the General Commercial Base District (C-3) on Tract 2-A, Resubdivision No. 3, Marble Falls Industrial Park, Section One, City of Marble Falls, Burnet County, Texas. Case 2016-38-CUP. (*Tom Barker, applicant, and Robert Edgar, owner*)
 - D. **Public Hearing, Discussion, and Recommendation:** Regarding a rezoning request from Agriculture District (AG) to General Commercial Base District (C-3) with Concept Plan approval for 2.00 acres out of the R.D. Moore Survey No. 603 Abstract No. 614



and the W.O. Burnham Survey No. 530. Abstract No. 142, City of Marble Falls, Burnet County, Texas. Case 2016-39-Z. (*Dark Chocolate Hotels, LLC, applicant, and Paek & Tuk Sony Han, owners*)

- E. **Discussion and Recommendation:** Regarding a Construction Plat for the Gregg Ranch at Marble Falls Subdivision, Phase One, being 45.48 acres out of the A. Bradley Survey No. 79, Abstract No. 61, City of Marble Falls, Burnet County, Texas. Case 2016-17-CP. (*K.C. Engineering, Inc, applicant, and Marble Falls 300, LP and Marble Falls Partners, LP, owners*)
- F. **Presentation and Discussion:** Previous Planning and Zoning Commission items, City Council Disposition and update regarding future planning projects. (*Commission*)
 - 1. 2016-30-CP Mustang Ridge Construction Plat
 - 2. 2016-34-PDD Gregg Ranch PDD Amendment
 - 3. Roper Voluntary Annexation
 - 4. Zoning/Land Use Regulation Update
 - 5. Commission Reappointments considered by Council on January 17th
- G. **Presentation and Discussion:** Monthly Building Permit Summary; Construction Update. (*City Staff*)

4. ADJOURNMENT

“The Planning & Zoning Commission reserves the right to adjourn into Executive Session at any time during the course of this meeting to discuss any matters listed on the agenda, as authorized by the Texas Government Code, including but not limited to, Sections: 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices) 551.087 (Economic Development), 418.183 (Deliberations about Homeland Security Issues), and as authorized by the Texas Tax Code including but not limited to, Section 321.3022 (Sales Tax Information).”

In compliance with the Americans for Disabilities Act, the City of Marble Falls will provide for reasonable accommodations for persons attending the Commission Meetings. To better serve you, requests should be received 24 hours prior to the meeting, by contacting Ms. Christina McDonald, City Secretary, at 830-693-3615.

Certificate of Posting Agenda Meeting Notice

I, Elizabeth Yeh, City Planner for the City of Marble Falls, Texas, certify this Meeting Notice was posted at the Marble Falls City Hall in a place readily accessible to the general public, on the 30th day of December, 2016, by 5:00 p.m., posted thereafter for at least 72 continuous hours before the scheduled time of said meeting.

The agenda is also posted on the City’s web site: www.marblefallstx.gov.



Elizabeth Yeh, City Planner



**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. A. Approval of Minutes
Requested by: Scarlet Contreras, Commission Secretary

SYNOPSIS

Commission will consider approval of the minutes from the regular meeting on Thursday December 1, 2016.

(Minutes attachment following this page)

**STATE OF TEXAS
COUNTY OF BURNET
CITY OF MARBLE FALLS**

On this 1st day of December, 2016 the Planning and Zoning Commission convened at the regular meeting place having been posted as prescribed by law, with the following members present in accordance to-wit:

MEMBERS PRESENT:	Steve Reitz Fred Zagst Dee Haddock Thomas Barr Darlene Oostermeyer Jason Coleman Greg Mills	Chairman Vice Chairman Commissioner Commissioner Commissioner Commissioner Commissioner
MEMBERS ABSENT:	None	
STAFF PRESENT:	Caleb Kraenzel Elizabeth Yeh Mike Hodge Mike Ingalsbe Scarlet Contreras	Assistant City Manager City Planner City Manager Building Official Commission Secretary
VISITORS	Greg Haley Martin Stary Jane Marie Hurst Henry Hohenberger	KC Engineering KC Engineering Applicant Citizen

1. CALL TO ORDER AND ANNOUNCE PRESENCE OF QUORUM: Chairman Reitz called the meeting to order at 6:00pm and declared a quorum of the Commission is present to conduct the meeting.

2. Citizens/Visitors comments to be heard for items not on the agenda: This is an opportunity for citizens to address the Planning and Zoning Commission concerning an issue of community interest that is not on the agenda. Comments on a specific agenda item must be made when the agenda item comes before the Commission. The Chair may place a time limit on all comments. Any deliberation of an issue raised during Citizen Comments is limited to a proposal to place it on the agenda for a later meeting. There were no person(s) with any public comment(s).

3. REGULAR AGENDA: The Commission will individually consider and possibly take action on any or all of the following items:

- A. Approval of Minutes:** Minutes from the regular meeting on November 10, 2016 (*Scarlet Contreras, Commission Secretary*) Commissioner Haddock made a motion to approve the minutes as presented. Commissioner Mills seconded the motion. The motion was approved by a vote of 7 – 0.
- B. Public Hearing, Discussion, and Recommendation:** Regarding a replat of Lot Nos. 1 through 10, and a portion of a 20' alley, Block No. 278, Marble Falls Original Township, City of Marble Falls, Burnet County, Texas, municipally addressed as 404 South Avenue M. Case 2016-33-RP. (*William Stephen Hurst and Jane Marie Hurst, applicants and owners*) Elizabeth Yeh, City Planner, addressed the Commission. Commissioner Oostermeyer commented in regard to the preserving the historical value of the building and the surrounding property, and protecting views of the structure. Commissioner Zagst made a motion to approve the replat as submitted. Commissioner Barr seconded the motion. The motion was approved by a vote of 7 – 0.
- C. Public Hearing, Discussion, and Recommendation:** Regarding an amendment to the existing Gregg Ranch at Marble Falls Planned Development District (PDD) with base zoning of Single-Family Base District (R-1) and Mixed Use Base District (MU-1), for approximately 242.754 acres out of the A/ Bradley Survey No. 79, Abstract No. 61; the G. Fischler Survey No. 2, Abstract No. 1565; and the H.T. & B. R.R.

Survey No. 1, Abstract No. 448, City of Marble Falls, Burnet County, Texas, located on Highway 281, south of the Highway 71 and Highway 281 intersection. Case 2016-34-PDD. (*K.C. Engineering, Inc, applicant, and Marble Falls 300, LP and Marble Falls Partners, LP, owners*) Elizabeth Yeh, City Planner, addressed the Commission. The Commission discussed the concern of amending the phasing plan for the amenity building to be built in Phase 2 in that it may not be built or moved to a later phase. Commissioner Zagst made a motion to approve the Gregg Ranch at Marble Falls Planned Development District (PDD) amendment as submitted. Commissioner Coleman seconded the motion. The motion was approved by a vote of 7 – 0.

D. Presentation and Discussion: Previous Planning and Zoning Commission items, City Council Disposition and update regarding future planning projects. (*Commission*)

1. ZAC Update
2. Correspondence with Commission

City Planner Elizabeth Yeh addressed the Commission.

E. Presentation and Discussion: Monthly Building Permit Summary; Construction Update (*City Staff*). Assistant City Manager Caleb Kraenzel addressed the Commission.

4. ADJOURNMENT: There being no further items to discuss, Commissioner Mills made a motion to adjourn the meeting. Commissioner Oostermeyer seconded the motion. The motion was approved by a vote of 7– 0. The meeting was adjourned at 6:31 pm.

Steve Reitz - Chairman to the Commission

Scarlet Contreras - Commission Secretary



**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. B. **Public Hearing, Discussion, and Recommendation:** Regarding a rezoning request from Main Street District (MSD) to Planned Development District (PDD) with base zoning of Main Street District (MSD) for Lot 1-B, Block 332, Marble Falls Original Township, City of Marble Falls, Burnet County, Texas.
Requested by: Texas General Corporation, applicant, and Heritage Hotels Crossroads, LLC, owner
Case: Case 2016-37-PDD

SUMMARY

This item is for consideration of a Planned Development Rezoning application requesting Residential Apartment use along with approximately 3,500 square feet of ground floor Retail use within the historic downtown area.

The Subject Area consists of 1.99 undeveloped acres, known as Lot 1-B, Block 332, of the Marble Falls Original Township subdivision, municipally addressed as 99 Main Street. The Subject Area has street frontage on three improved public streets, being Main Street, Yett Street, and Avenue H, and is currently zoned Main Street District (MSD). The Subject Area is adjacent to the Marble Falls Public Library and across from the future site of the Economic Development Corporation Conference Center/Hotel project.

The applicant is requesting a rezoning of Lot 1-B into a PDD in order to purchase the property and allow for construction of a mixed use building featuring apartment residential use with a density of 100 units, to be known as The Lofts at 99 Main.

Current MSD zoning allows for a maximum building height of sixty feet (60') and the residential use (allowed by right) of condominiums, townhouses or apartments when constructed in conjunction with a mixed use development in which the residential use represents no more than fifty percent (50%) of the total floor area of the development. The proposed project meets the maximum height requirement, proposing a building height of fifty-three feet (53'), however the residential component of the mixed use development exceeds 50% of the total floor area of the development.

Alternatively, the MSD zoning allows for Apartment Residential Use as a Conditional Use, when developed under the High-Density Apartment Base District (R-5) regulations. R-5



regulations allow for a maximum height of seventy feet (70') and a maximum density of forty-four (44) units per acre. Under the R-5 regulations the Subject Area would allow for eighty-eight (88) units, however the typical twenty-five foot (25') front yard setback and fifteen foot (15') street side yard setback would apply, leading to a building site that is inconsistent with Downtown Master Plan and Comprehensive Plan for the area.

Because neither the MSD regulations nor the R-5 regulations allow for the project to be constructed as presented, a Planned Development District (PDD) overlay zoning is proposed. The PDD zoning offers greater flexibility to be given to allow for special conditions which would not otherwise allow the development to occur. In order to ensure against misuse of the increased flexibility, approval of a conceptual site plan, landscape plan, building elevations, and development conditions/standards is required.

The conceptual site plan for the proposed development features one seven-story building benched into the existing lot topography (best depicted on page 18), with retail square footage, and the apartment use amenities (such as the lobby, mail center, fitness center, resident storage lockers, and a pool deck for use of residents) on the lower two levels, reserving the top five levels for the proposed apartment units (20 units per floor). The height of the building is proposed to not exceed 55 feet measured from the highest pre-development elevation of the surface of the ground on the lot. Approximately 25 Studio/Alcove units, 45 One Bed/One Bath units, and 30 Two Bed/Two Bath units are proposed.

One hundred and fifty-nine (159) off-street parking spaces are provided for the apartment use to the rear of the building. The parking lot meets the City minimum parking requirements for Apartment use by providing one space for Studio Units, one and a half spaces for One Bedroom Units, and two spaces for Two+ Bedroom Units (153 minimum spaces for residents required). The parking lot will have one gated entry point, aligned with the First Street and Avenue H intersection to create a four-way stop. Public improvements to the existing downtown on-street parking inventory are proposed to serve the retail use square footage, as well as provide for excess parking needed in the downtown area. Six (3) parallel parking spaces will be provided on Yett Street, and twenty-five (25) angles parking spaces will be provided along Avenue H. Public improvements such as sidewalk additions, downtown street lights, commercial patio space, tree planters, and landscaping are also proposed to enhance the pedestrian accessibility around the project (see landscape plan on page 21). Said public improvement will necessitate a license agreement with the City, including a maintenance



requirement, which will be specified as a PDD development standard in the enacting ordinance. All proposed plants will comply with the adopted Approved Plant and Tree list for the City.

The conceptual building elevations, found on pages 15-19, meet the MSD exterior appearance requirement which states that “the portion of any structure facing or abutting any street shall utilize 75% brick, stone, stucco, wood veneer and/or glass or any combination thereof”. The applicant has stated that the project will use local building materials, such as limestone, stucco, and brick.

The Subject Area is part of the Downtown Master Plan boundary, which encourages the pursuit of mixed-use development in the Downtown Core District and sets the following Guiding Vision Principle: Provide and capitalize on development opportunities that promote the vision for Downtown Marble Falls, increase its vitality, and attract residents and visitors. The applicant has reviewed the Downtown Master Plan and has addressed the following Downtown Master Plan recommendations in his submittal:

- Provide Main Street frontage with wide sidewalks that include commercial space, pedestrian space, and street furniture space.
- Multiple story buildings have residences or offices above retail or restaurant uses. Buildings with minimal setbacks have storefront windows along the ground level.
- All materials, colors, and architectural details used on the exterior of a building shall be compatible with the building’s style, with other properties in the general business area, and with each other. Intense, bright or fluorescent colors shall not be used as the predominant color on any wall or roof of any primary or accessory structure. These colors may be used as building accent colors.
- Required parking shall be provided to the greatest extent possible by spaces at the rear or sides of buildings.
- Provide angle parking where appropriate; parking serves businesses as well as provides overflow parking for experience-focused streets.
- Provide downtown themed street lights and trees at regularly spaced intervals in a landscaped edge between sidewalk and parking.

The Comprehensive Plan Future Land Use classification for the Subject Area is Downtown. The Downtown future land use classification is specifically designed to include a mix of uses developed with an urban character in a higher density, walkable environment. In this regard, higher density residential uses (e.g., Downtown lofts) and prominent civic facilities would



help create the live-workplay environment envisioned for this area. The request for Planned Development District (PDD) with a base zoning of Main Street District (MSD) is consistent with the Comprehensive Plan, due to the mix of uses and higher density residential use.

Neighboring properties to the north and west are zoned Main Street District (MSD). Properties to the east are zoned General Commercial Base District (C-3). The adjoining property to the south of the Subject Area is zoned Mixed Use Base District (MU-1) and is the site designated for the proposed Convention Center. Existing land uses surrounding the Subject Area include retail and office uses, a religious institutional use, and public civic facilities.

The Subject Area is partially within the 100 year floodplain, therefore final site plan and construction documents will be required to comply with the adopted floodplain regulations.

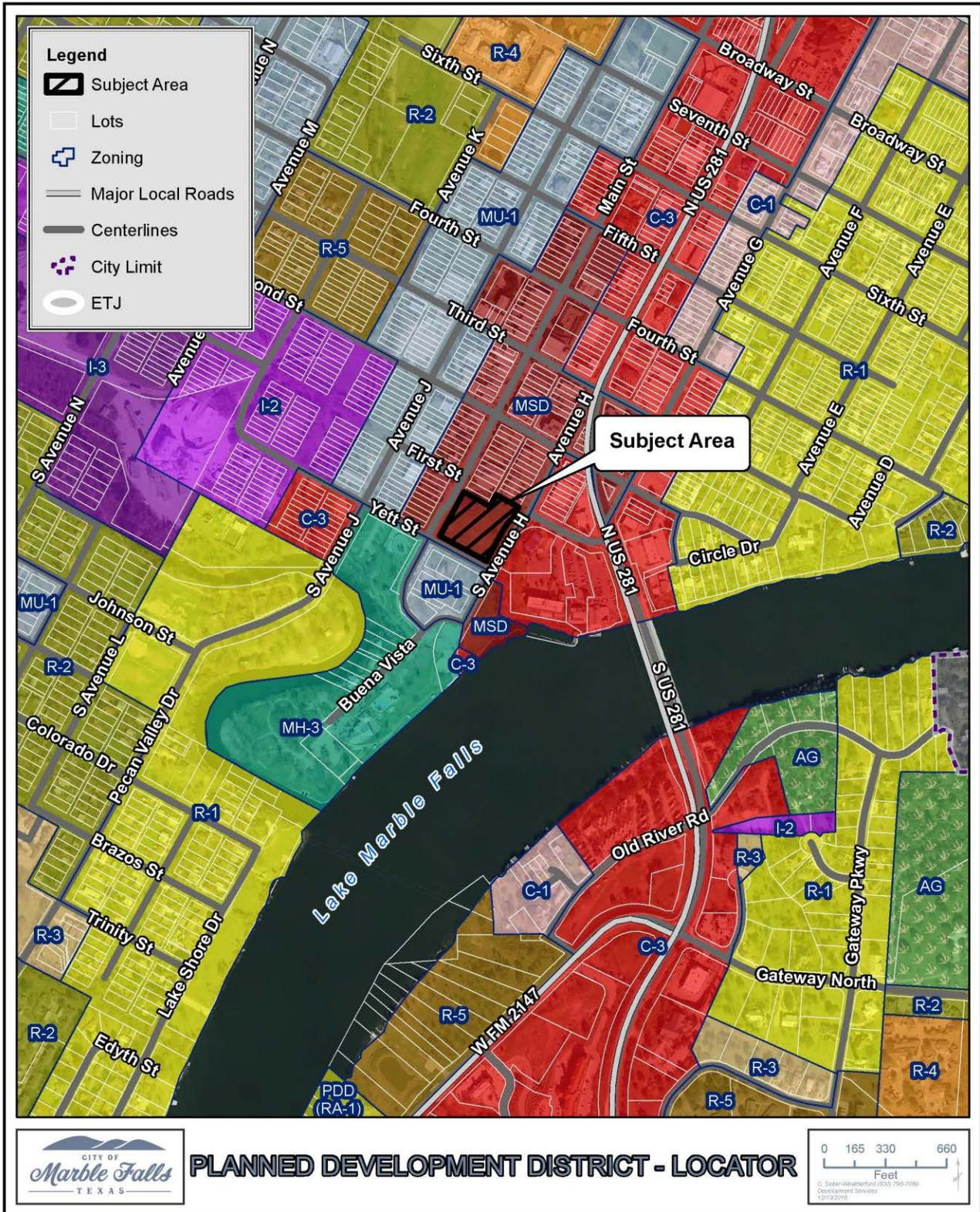
A total of twelve (12) adjacent property owners within two hundred feet (200') of the Subject Area were mailed notification letters, including the public hearing dates and a pre-paid comment card for response supporting/opposing the proposed rezoning. At the time of packet distribution zero (0) property owners submitted a response.

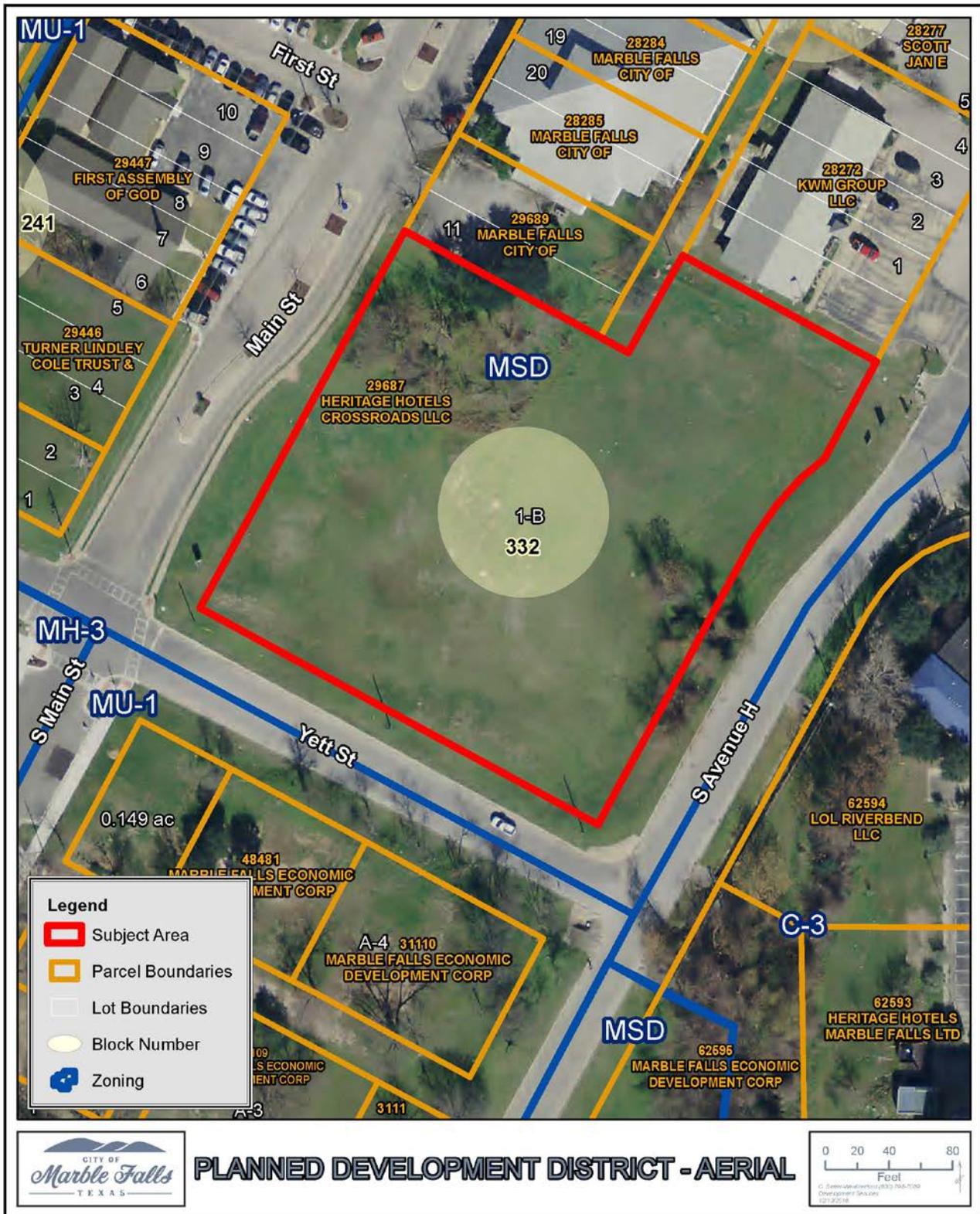
RECOMMENDATION

Due to conformance with the Comprehensive Plan, the Downtown Master Plan, the project meeting or exceeding city minimum requirements, and the need for diversification of the City Housing inventory, City staff recommends approval of the PDD rezoning request, with corresponding development exhibits and standards.

Memo Contents:

- Informational maps produced by City Staff: **Pages 8 - 14**
- Building Elevations: **Pages 15 - 19**
- Conceptual Floor Plans: **Page 20**
- Landscape Plan: **Page 21**
- Site Plan and Public Improvements: **Page 22**
- Fire Protection Plan: **Page 23**
- Survey: **Page 24**















2016-37-PDD Building Elevations

PLANNED DEVELOPMENT DISTRICT SUBMITTAL

MARBLE FALLS, TEXAS

THE LOFTS



THE LOFTS - 99 MAIN



APPROVED TRACKING:
FILE NUMBER: 2016-37-PDD



PRELIMINARY PROJECT DATA

Level	Use	Level Code	Area (GSF)	Volume (GSF)	Common Area (GSF)	Area (GSF)	Volume (GSF)	Area (GSF)	Volume (GSF)	Area (GSF)	Volume (GSF)	Units	Area (GSF)	Volume (GSF)
Level 5	R	19,644	19,644	19,644	0	19,644	19,644	0	0	20	20	20	20	20
Level 4	R	19,644	19,644	19,644	0	19,644	19,644	0	0	20	20	20	20	20
Level 3	R	19,644	19,644	19,644	0	19,644	19,644	0	0	20	20	20	20	20
Level 2	R	19,644	19,644	19,644	0	19,644	19,644	0	0	20	20	20	20	20
Level 1	R	19,644	19,644	19,644	0	19,644	19,644	0	0	20	20	20	20	20
Level AM	Me, A, L	13,832	10,351	0	1481	0	0	0	0	20	20	20	20	20
Utility	L, S, U	8,702	0	0	0	0	0	0	0	0	0	0	0	0
Total		120,754	120,351	106,932	3,481	33,150	25	45	35	0	100	100	100	133

Table 1 - Project Summary

Area	120,754
Volume	106,932
Common Area	3,481
Area	33,150
Volume	25
Area	45
Volume	35

Table 2 - Apartment Summary

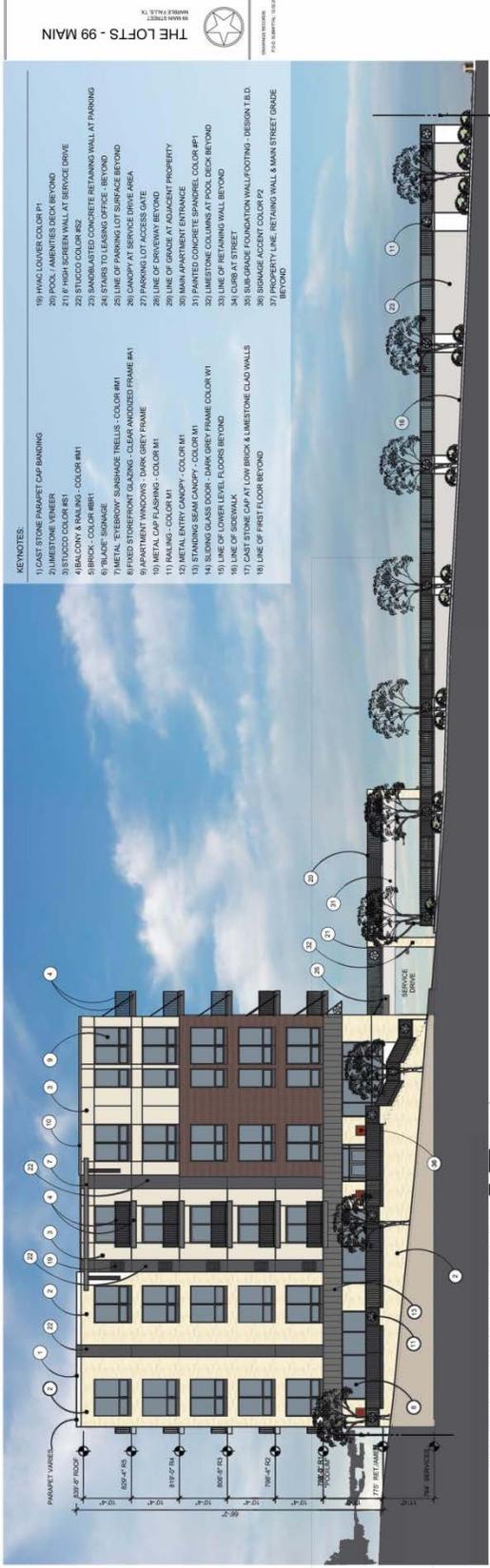
Level	Units	Area (GSF)	Volume (GSF)
Level 5	20	20,000	20,000
Level 4	20	20,000	20,000
Level 3	20	20,000	20,000
Level 2	20	20,000	20,000
Level 1	20	20,000	20,000
Level AM	20	20,000	20,000
Total	100	200,000	200,000

Table 3 - Parking Distribution

Level	Units	Area (GSF)	Volume (GSF)
Level 5	20	20,000	20,000
Level 4	20	20,000	20,000
Level 3	20	20,000	20,000
Level 2	20	20,000	20,000
Level 1	20	20,000	20,000
Level AM	20	20,000	20,000
Total	100	200,000	200,000

NOT FOR CONSTRUCTION PURPOSES & DESIGN REVIEW ONLY

TEXAS GENERAL CORPORATION
10000 W. MARBLE FALLS BLVD
MARBLE FALLS, TX 75758
TEL: 940.243.1111
WWW.TXGENERALCORP.COM



A1.1 SOUTH ELEVATION (YETT STREET)



A1.2 WEST ELEVATION (MAIN STREET)

- KEYNOTES:**
- 1) CAST STONE PARAPET CAP BANDING
 - 2) LIMESTONE VENEER
 - 3) STUCCO COLOR #S1
 - 4) BALCONY & RAILING - COLOR #M1
 - 5) BRICK - COLOR #B1
 - 6) BRICK - COLOR #B2
 - 7) METAL STOREFRONT SUNSHADE TRILLIS - COLOR #M1
 - 8) FIELD STOREFRONT GLAZING - CLEAR ANODIZED FRAME #A1
 - 9) APARTMENT WINDOWS - DARK GREY FRAME
 - 10) METAL CAP FLASHING - COLOR #M1
 - 11) RAILING - COLOR #M1
 - 12) BRICK - COLOR #B1
 - 13) BRICK - COLOR #B2
 - 14) SLOPING GLASS DOOR - DARK GREY FRAME COLOR #M1
 - 15) BRICK - COLOR #B1
 - 16) BRICK - COLOR #B2
 - 17) CAST STONE CMP AT LOW BRICK & LIMESTONE CLAD WALLS
 - 18) LINE OF FIRST FLOOR BEYOND
 - 19) HVAC LOWER COLOR #P1
 - 20) POOL / AMENITIES DECK BEYOND
 - 21) 6" HIGH SCREEN WALL AT SERVICE DRIVE
 - 22) STUCCO COLOR #S2
 - 23) CAST STONE RETAINING WALL AT PARKING
 - 24) BRICK - COLOR #B1
 - 25) LINE OF PARKING LOT SURFACE BEYOND
 - 26) CANOPY AT SERVICE DRIVE AREA
 - 27) PARKING LOT ACCESS GATE
 - 28) LINE OF DRIVEWAY BEYOND
 - 29) LINE OF GRADE AT ADJACENT PROPERTY
 - 30) BRICK - COLOR #B1
 - 31) BRICK - COLOR #B2
 - 32) LIMESTONE COLUMNS AT POOL DECK BEYOND
 - 33) LINE OF RETAINING WALL BEYOND
 - 34) CURB AT STREET
 - 35) SUB-GRADE FOUNDATION WALL/FOOTING - DESIGN T.B.D.
 - 36) STORAGE ACENT COLOR #S2
 - 37) PROPERTY LINE. RETAINING WALL & MAIN STREET GRADE BEYOND

THE LOFTS - 99 MAIN
MARBLE FALLS, TX
75756

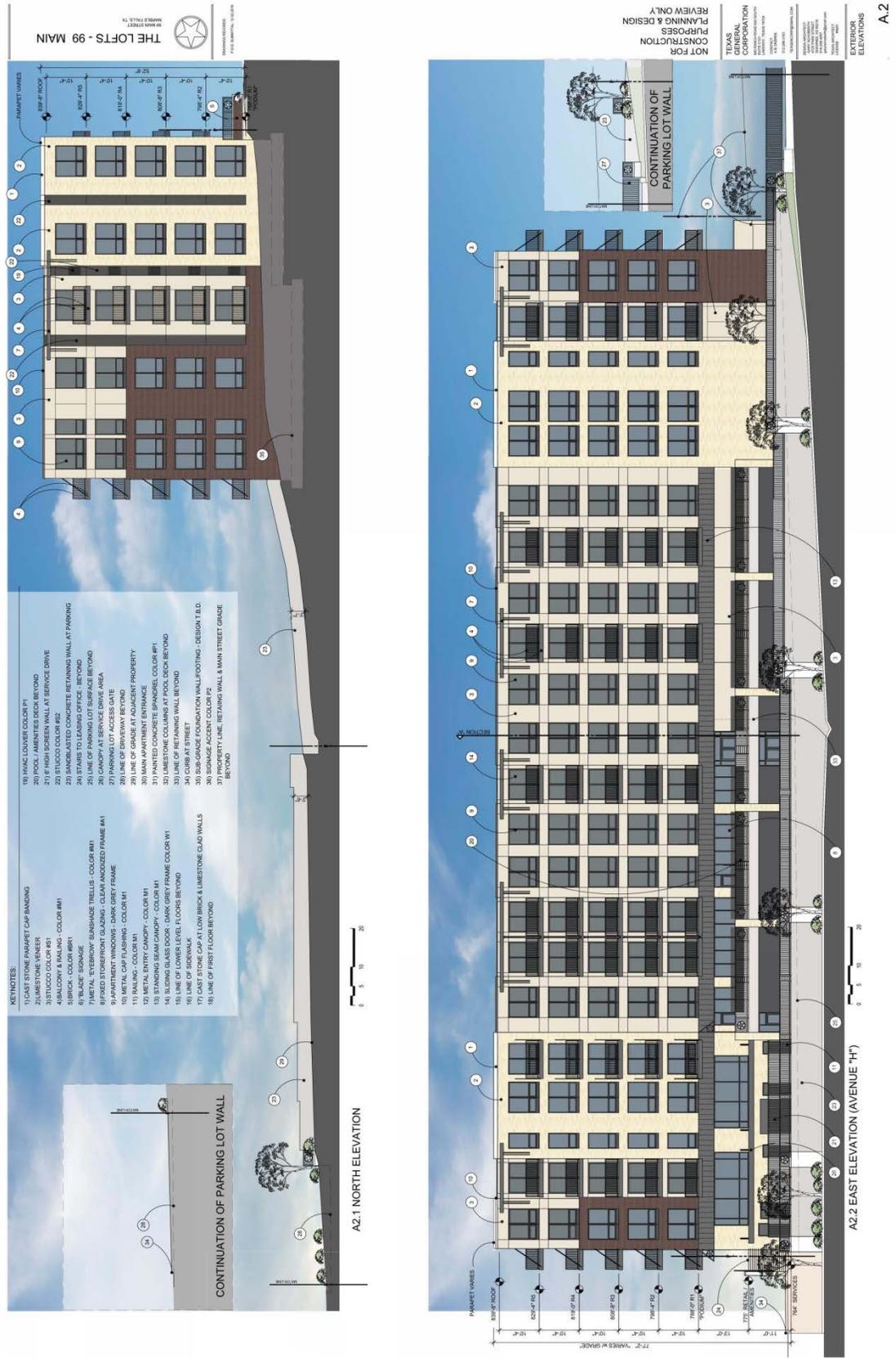


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REVIEW ONLY

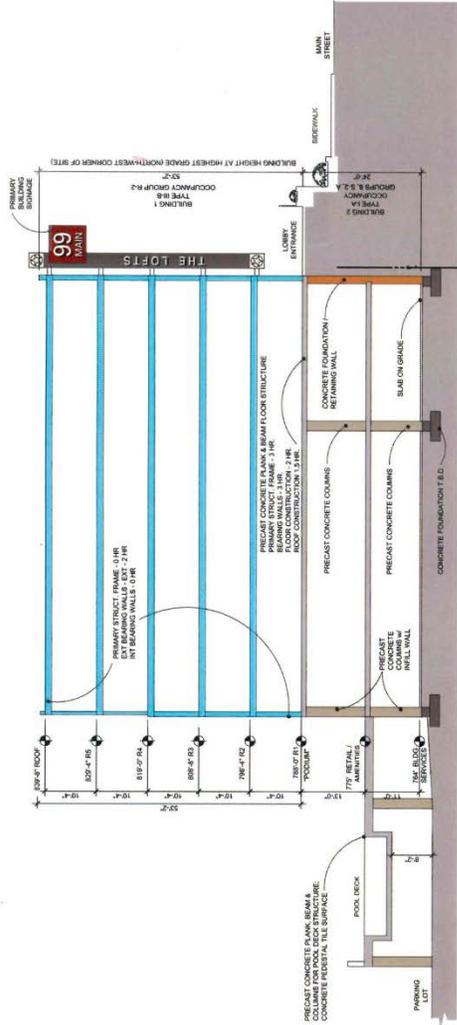
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EXTERIOR
ELEVATIONS
A.1





PLANNING & ZONING
COMMISSION



A3.1 CROSS SECTION LOOKING SOUTH



BRICK OPTION #1
SIENNA IRONSPOT VELOUR
ENDICOTT



BRICK OPTION #2
HERITAGE #46 NO YELLOW
ENDICOTT



STUCCO OPTION 1
SW 6078 REALIST BEIGE



STUCCO OPTION 2
SW 6155 RICE GRAIN



RAILINGS
APARTMENT
WINDOW FRAMES
STANDING SEAM ROOF

METALS OPTION 1
SW 7047 PORPOISE



METALS OPTION 2
SW 9164 PERLE NOIR



METALS OPTION 3
SW 7600 BOLERO
ACCENTS AT SIGNAGE

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SECTION
MATERIALS

A.3

A3.2 MATERIALS & FINISHES
MATERIALS SHOWN REFLECT THE DESIGN INTENT
PHOTO SPECIFICATIONS WILL BE VERIFIED UPON REVIEW AND
APPROVALS OF FULL-SCALE PHYSICAL MOCK-UPS ON SITE



A4.1 MAIN STREET ELEVATION - NORTH END



A4.2 AERIAL VIEW OF MAIN STREET STREETSCAPE



A4.3 APARTMENT ENTRANCE FROM THE SOUTH



A4.4 AERIAL AT MAIN & YETT STREETS LOOKING NORTH



A4.5 APARTMENT ENTRANCE FROM THE NORTH

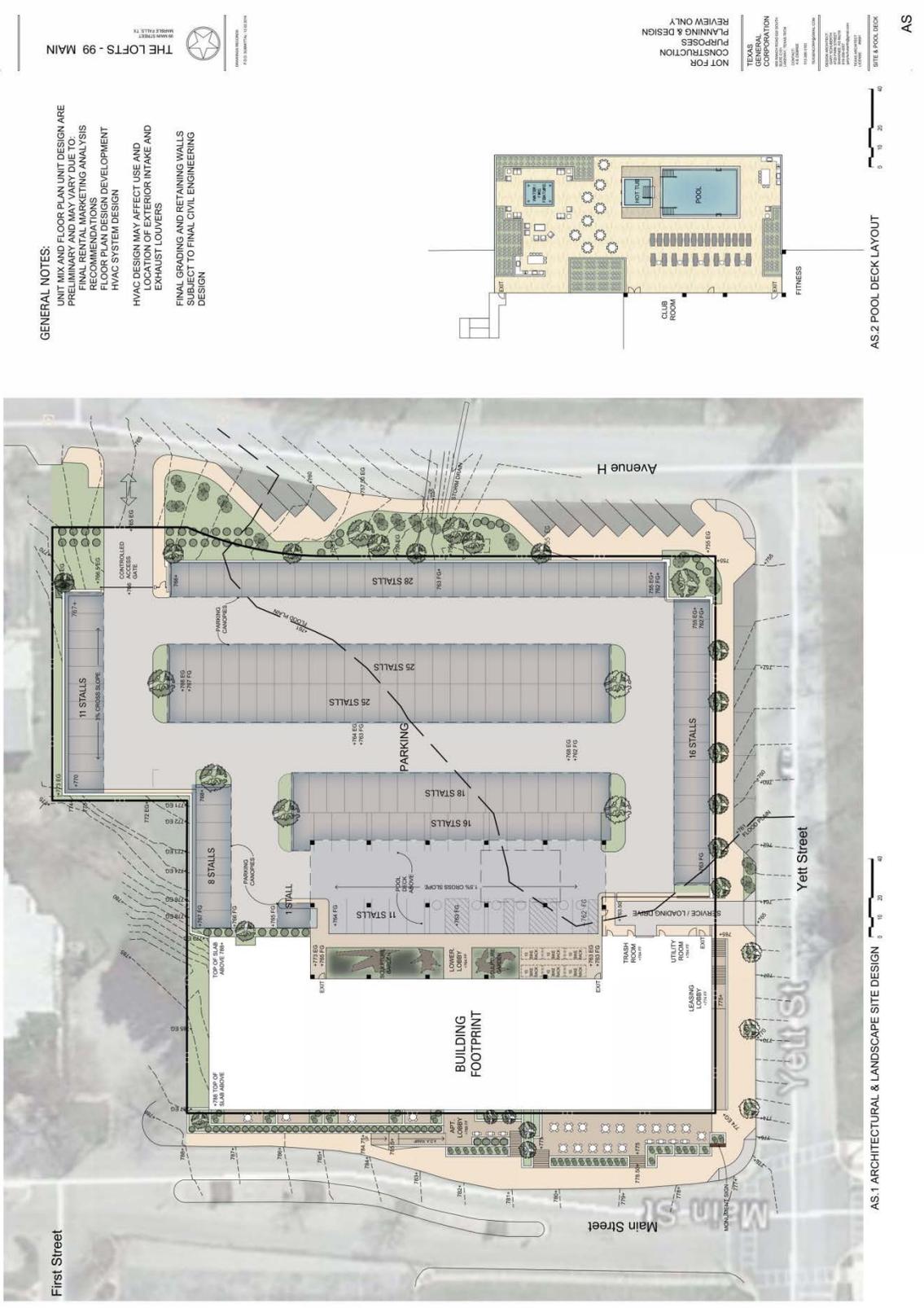


A4.6 APARTMENT ENTRANCE ELEVATION DETAIL

2016-37-PDD Conceptual Floor Plans



2016-37-PDD Landscape Plan



GENERAL NOTES:
 UNIT MIX AND FLOOR PLAN DESIGN ARE PRELIMINARY AND MAY VARY DUE TO FINAL RENTAL MARKETING ANALYSIS
 FLOOR PLAN DESIGN DEVELOPMENT
 HVAC SYSTEM DESIGN
 HVAC DESIGN MAY AFFECT USE AND LOCATION OF EXTERIOR INTAKE AND EXHAUST LOUVERS
 FINAL GRADING AND RETAINING WALLS SUBJECT TO FINAL CIVIL ENGINEERING DESIGN

THE LOFTS - 99 MAIN
 MARBLE FALLS, TX
 78754-1000



ARCHITECTURAL DESIGN
 1000 W. MAIN ST., SUITE 100
 MARBLE FALLS, TX 78754

NOT FOR CONSTRUCTION PURPOSES
 PLANNING & DESIGN
 REVIEW ONLY

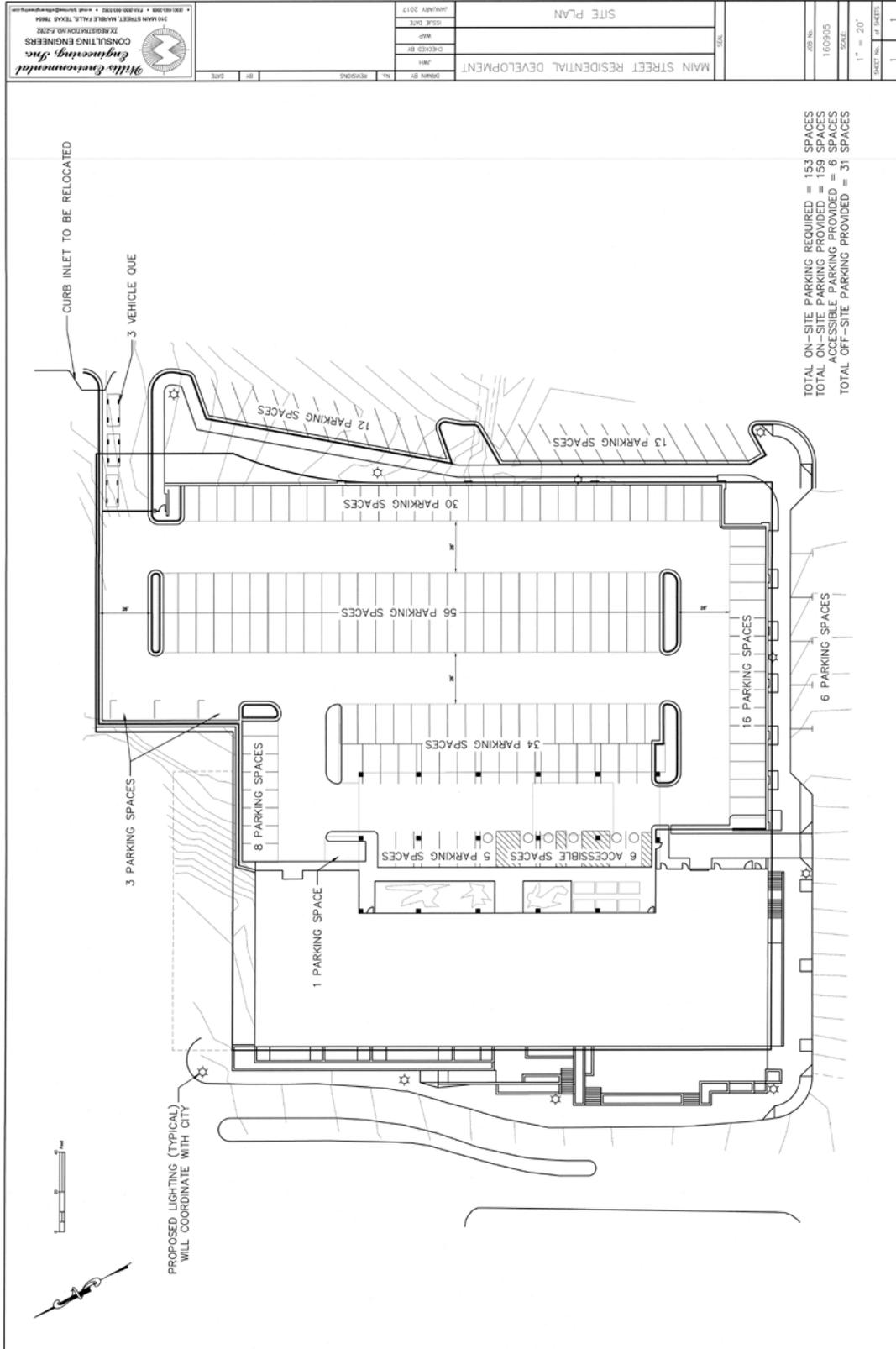
TEXAS GENERAL CORPORATION
 1000 W. MAIN ST., SUITE 100
 MARBLE FALLS, TX 78754
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SCALE: POOL DECK

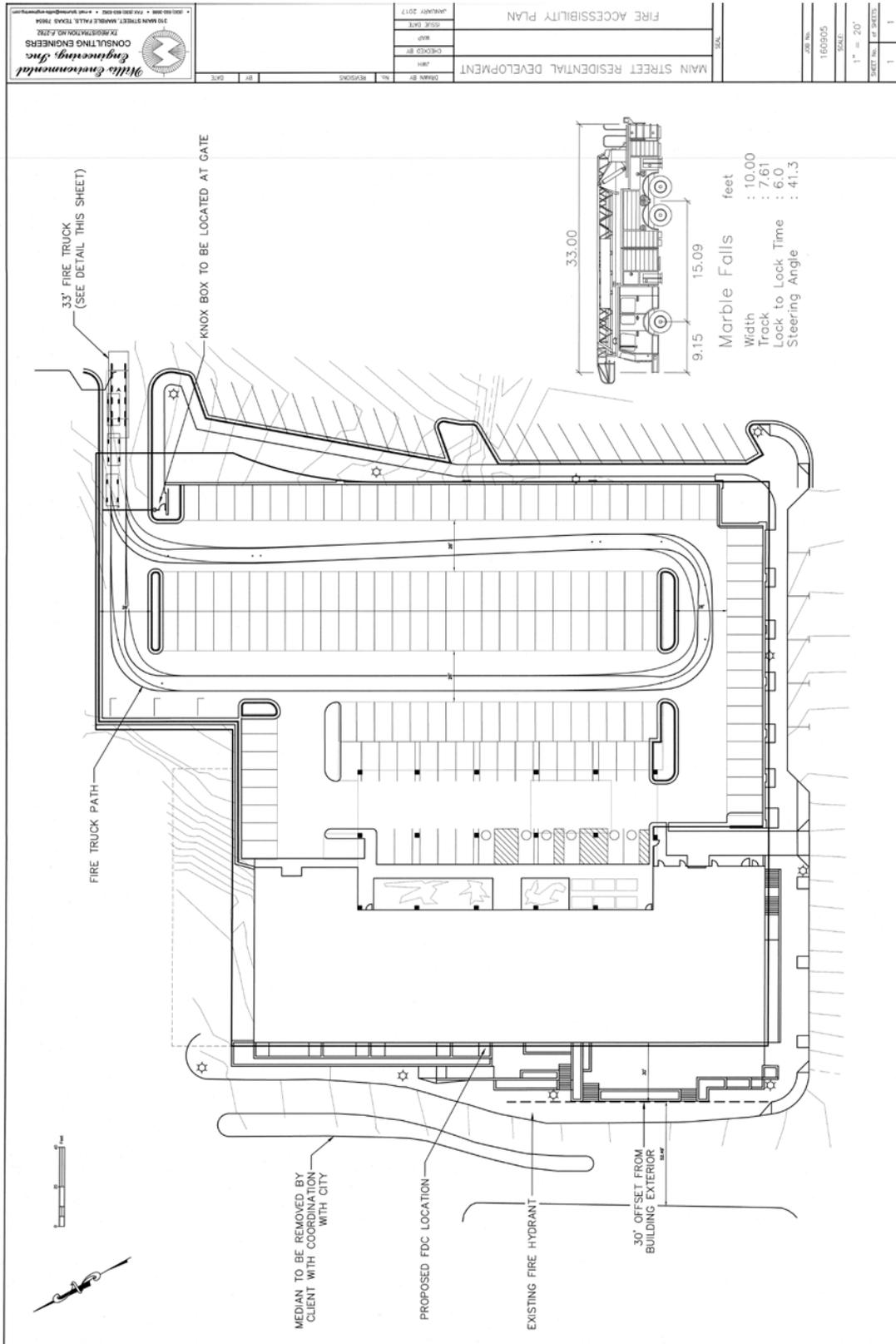
AS.2 POOL DECK LAYOUT

AS

2016-37-PDD Site Plan and Public Improvements



2016-37-PDD Fire Protection Plan





**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. C. **Public Hearing, Discussion, and Recommendation:** Regarding a Conditional Use Permit, with site plan approval, to allow Convenience Storage within the General Commercial Base District (C-3) on Tract 2-A, Resubdivision No. 3, Marble Falls Industrial Park, Section One, City of Marble Falls, Burnet County, Texas.
Requested by: Tom Barker, applicant, and Robert Edgar, owner
Case: Case 2016-38-CUP

SUMMARY

This item is for consideration of a Conditional Use Permit (CUP) application requesting Convenience Storage use, with site plan approval, within Tract 2-A of the Marble Falls Industrial Park Subdivision.

The Subject Area is a 2.49 acre tract of land, with frontage on Industrial Boulevard, currently zoned as General Commercial Base District (C-3). C-3 zoning district regulations allow the commercial use of Convenience Storage conditionally. City code (Sections 1120-1139, Conditional Use, Administration Procedures, Appendix B Land Use Regulations) states that the site plan for a conditional use permit must be deemed to be located, designed and operated to be compatible with uses of surrounding properties and within the City at large. The Convenience Storage use requires approval of a Conditional Use Permit due to the unique operating characteristics which require special public review to ensure adequate mitigation of potentially unfavorable impacts.

The Subject Area is currently undeveloped, located between the commercial businesses City Electric and Elliott Electric. The applicant is proposing to construct a climate controlled storage facility for individual households, to be known as Aladdin Self Storage. The proposed site plan, phasing plan, stripping plan, landscape plan, and building elevations have been provided for your review. The submitted plans meet or exceed minimum zoning requirements. The storage facility is expected to have low traffic volume and will be constructed in four phases, to include a maximum of one office/storage building and four one-story storage buildings. The applicant's intended Phasing Plan (found on page 37) is as follows: Phase One will commence immediately, Phase Two will commence when Phase One buildings are between 75% to 80% occupied, Phase Three will commence when Phase Two is between 75% to 80%



occupied, and Phase Four will commence when Phase Three is between 75% to 80% occupied. Each proposed storage building is approximately 7,650 square feet. The proposed Site Plan provides fire lane access throughout the entire site and eight (8) parking spaces for the office building. Due to the character of the use, loading zones for customers/visitors have also been added to the site plan when roll-up/entry doors are present on the buildings. No outside or open storage would be allowed.

The minimum exterior appearance for structures within the C-3 zoning district state that the portion of any structure facing or abutting any street shall utilize 75% brick, stone, stucco, wood veneer and/or glass or any combination thereof. The proposed office building elevation, found on page 40, meets these minimum requirements and depicts a modern frontage with large glass window, rock, and stucco trim when facing Industrial Boulevard.

The facility will be enclosed behind a six foot (6') metal chain link fence, with an electronic gate allowing for controlled access. The remaining storage buildings will be set more than one hundred and fifty feet (150') from the front property line and will be screened by a landscaped buffer containing large shrubs and small trees from the City's Approved Plant and Tree list, as depicted in the submitted Landscape Plan. Stated operating hours will be Monday through Friday from 8am to 6pm, and Sundays from 12pm to 5pm. Because the site will be completely fenced, customers will be given a gate code to access the property after hours. To increase security, the property will be well lit and provide surveillance cameras.

Neighboring properties to the south are zoned Industrial Park Base District (I-1). Neighboring properties to the north, west, and east are zoned C-3.

The Future Land Use classification for the Subject Area is Business Park. The Business Park future land use classification is intended for lands that will be developed to support various employment opportunities predominantly related to light manufacturing or industrial, warehousing, etc. The primary uses allowed in the Business Park future land use classification include flexible office/warehouse, logistics and distribution centers, data centers, corporate offices and/or campuses, and light manufacturing and industrial uses where operations are conducted within the building, generate little to no perceived off-site nuisances, and areas established for outdoor storage are fully screened from public rights-of-way and abutting non-compatible uses.

The submitted plans and the Convenience Storage use at the proposed site does not appear to pose any unfavorable impacts on nearby uses and is compatible with existing and



permitted uses in the surrounding area. Furthermore, the proposed use complies with the designated Future Land Use classification of the adopted Comprehensive Plan.

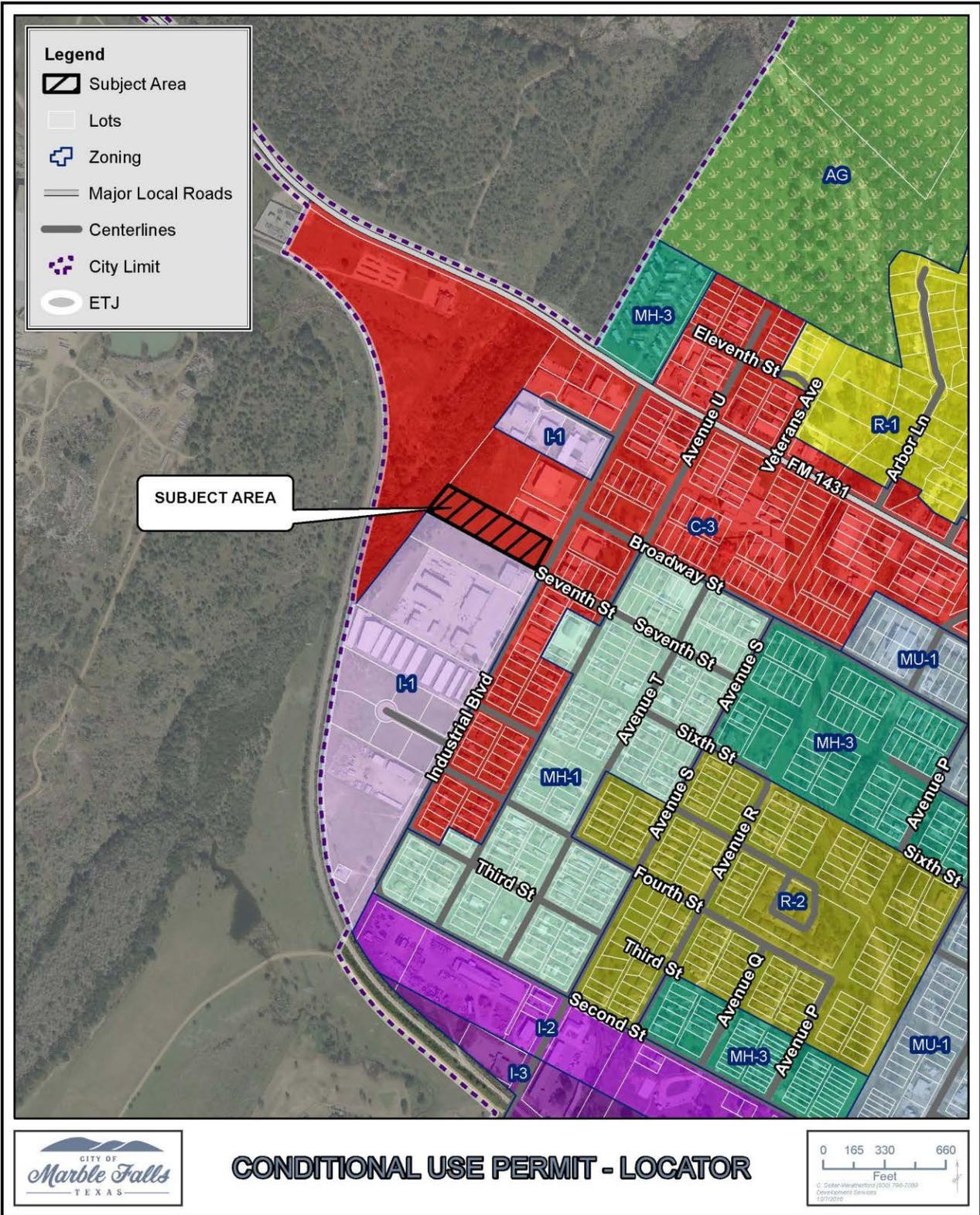
A total of nine (9) adjacent property owners within two hundred feet (200') of the Subject Area were mailed notification letters, including the public hearing dates and a pre-paid comment card for response supporting/opposing the proposed CUP. At the time of packet distribution zero (0) property owners submitted a response.

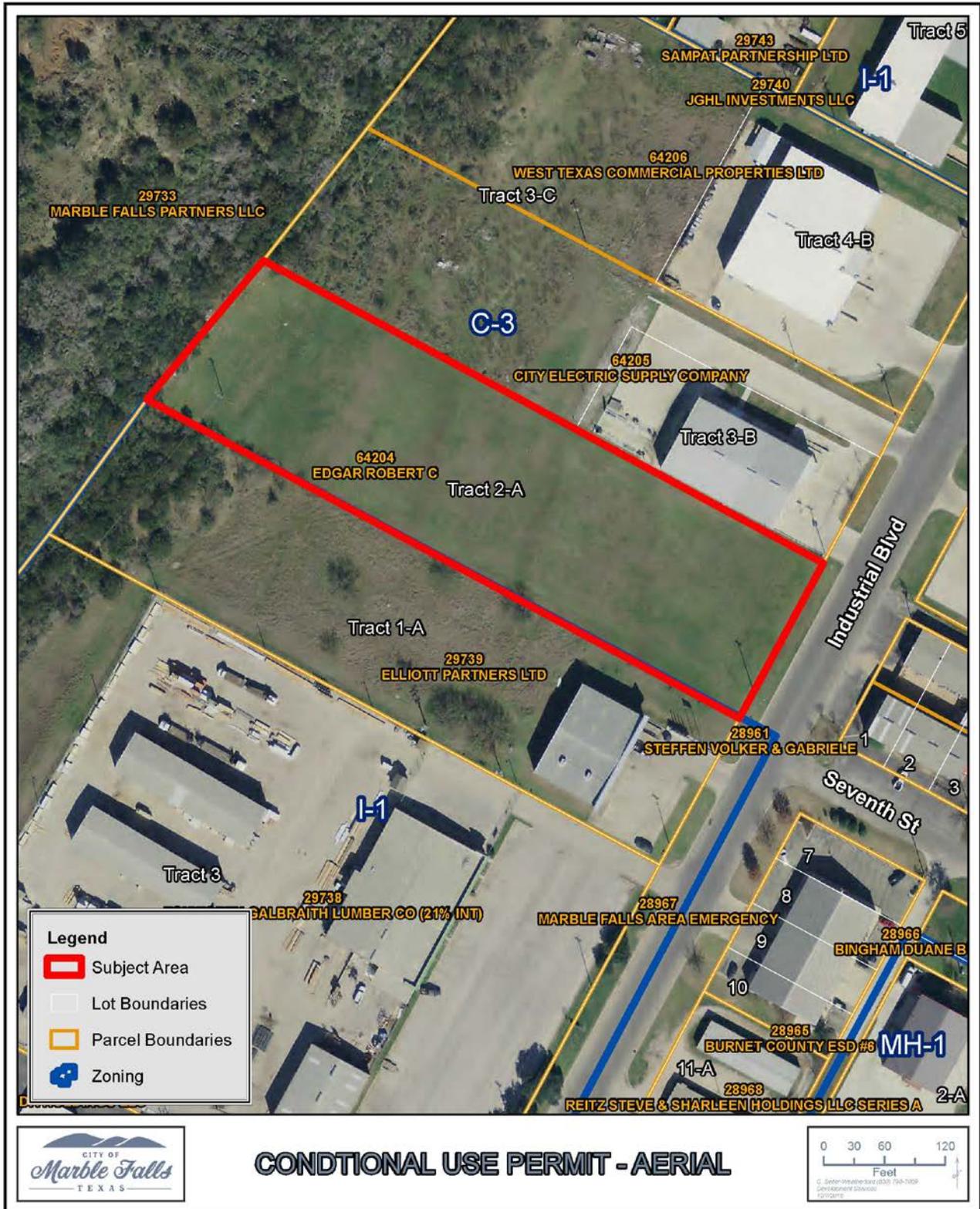
RECOMMENDATION

Due to conformance with the Comprehensive Plan, the compatibility with surrounding existing land uses, and the site configuration meeting or exceeding minimum standards for the proposed use within the property, City staff recommends approval of the Conditional Use Permit with site plan approval.

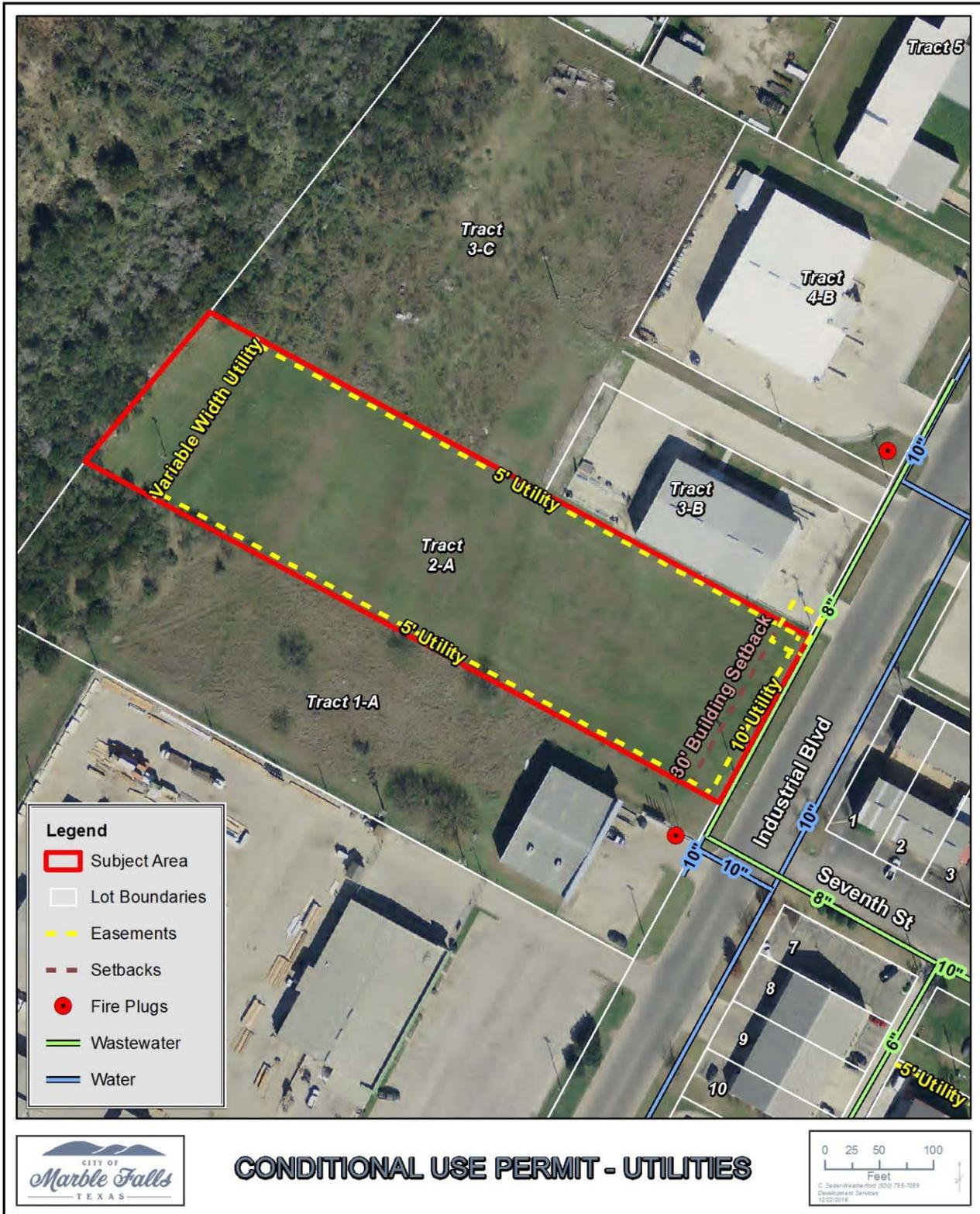
Memo Contents:

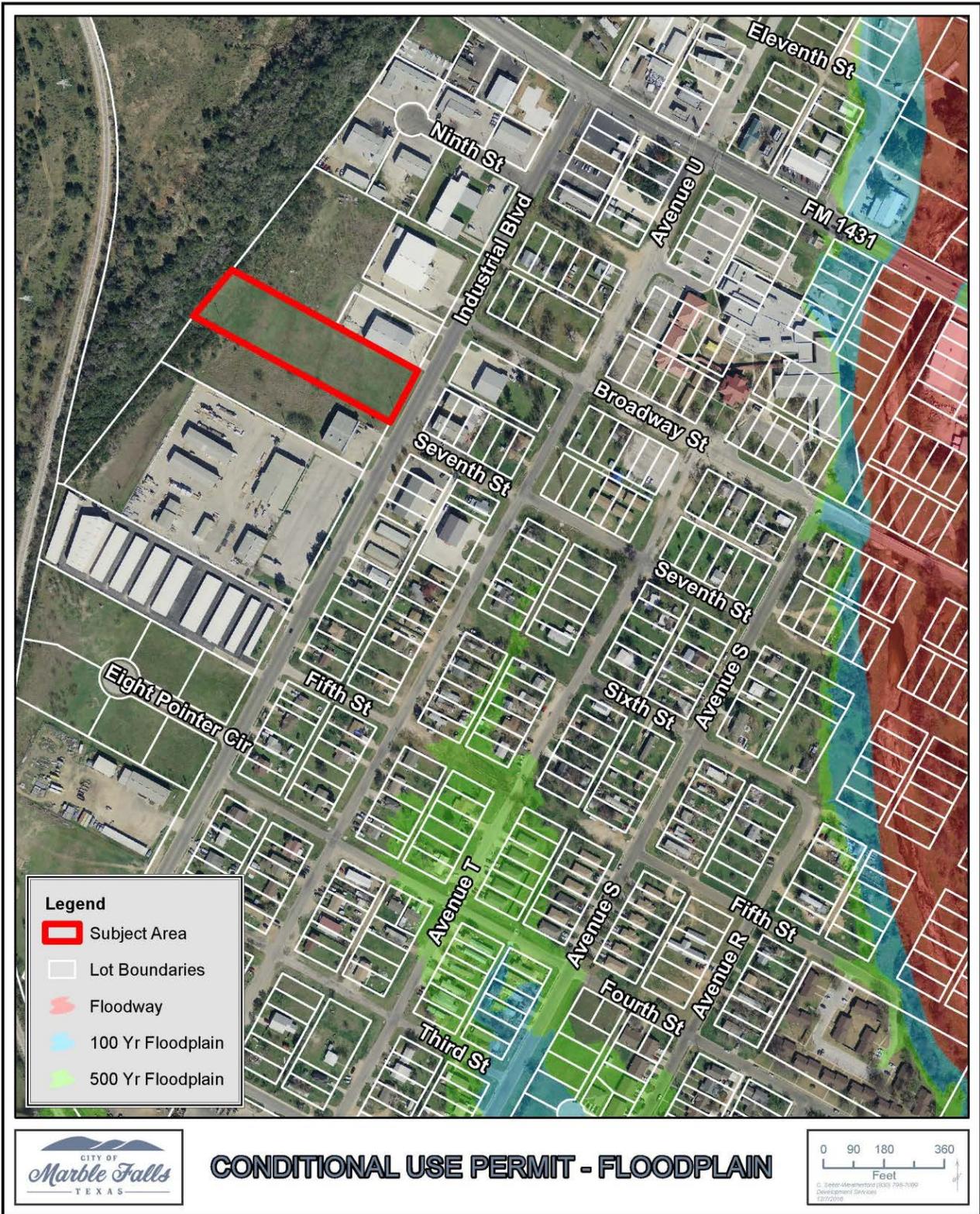
- Informational maps produced by City Staff: **Pages 28 - 35**
- Site Plan: **Page 36**
- Phasing Plan: **Page 37**
- Stripping Plan: **Page 38**
- Landscape Plan: **Page 39**
- Building Elevations: **Pages 40 - 41**

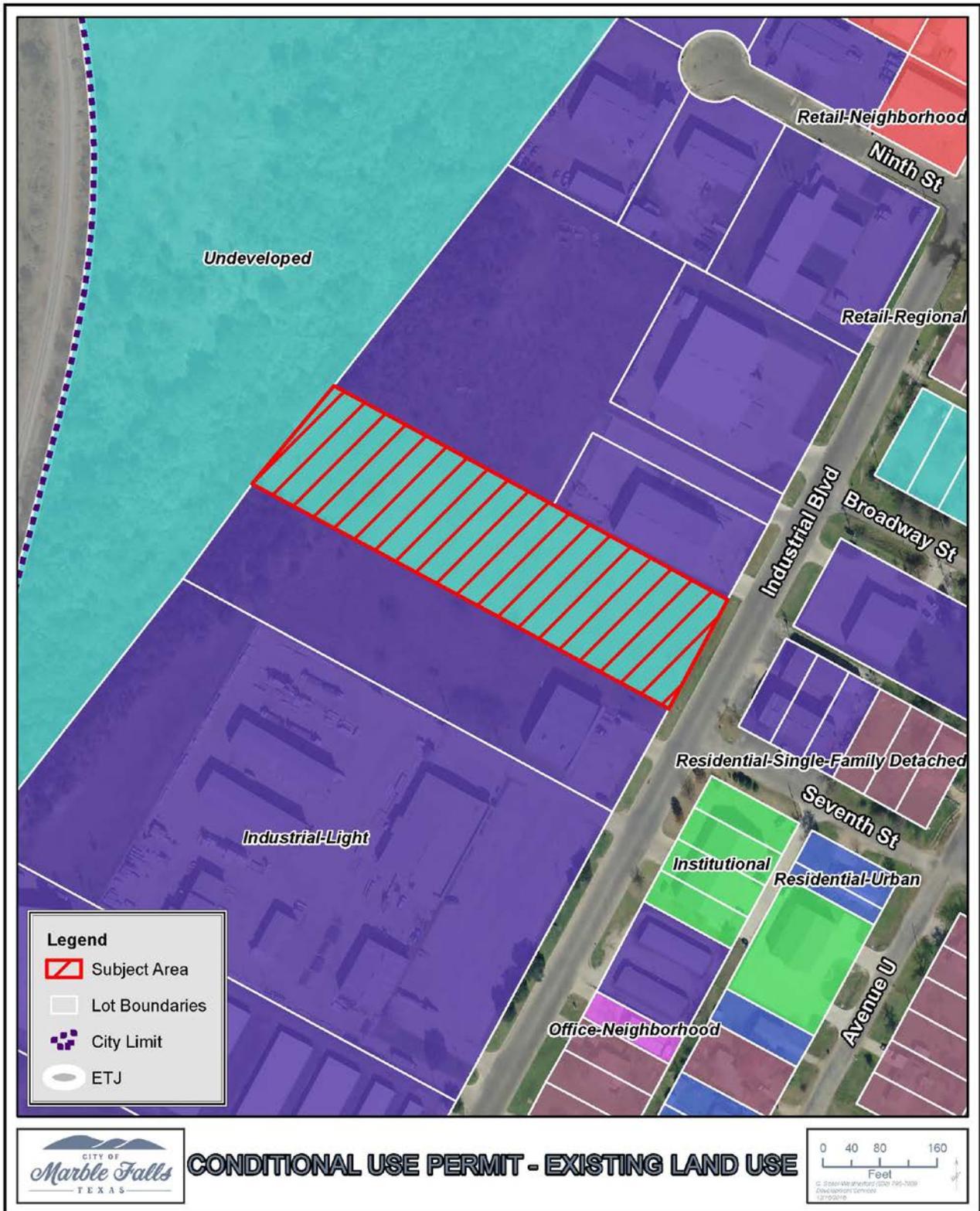


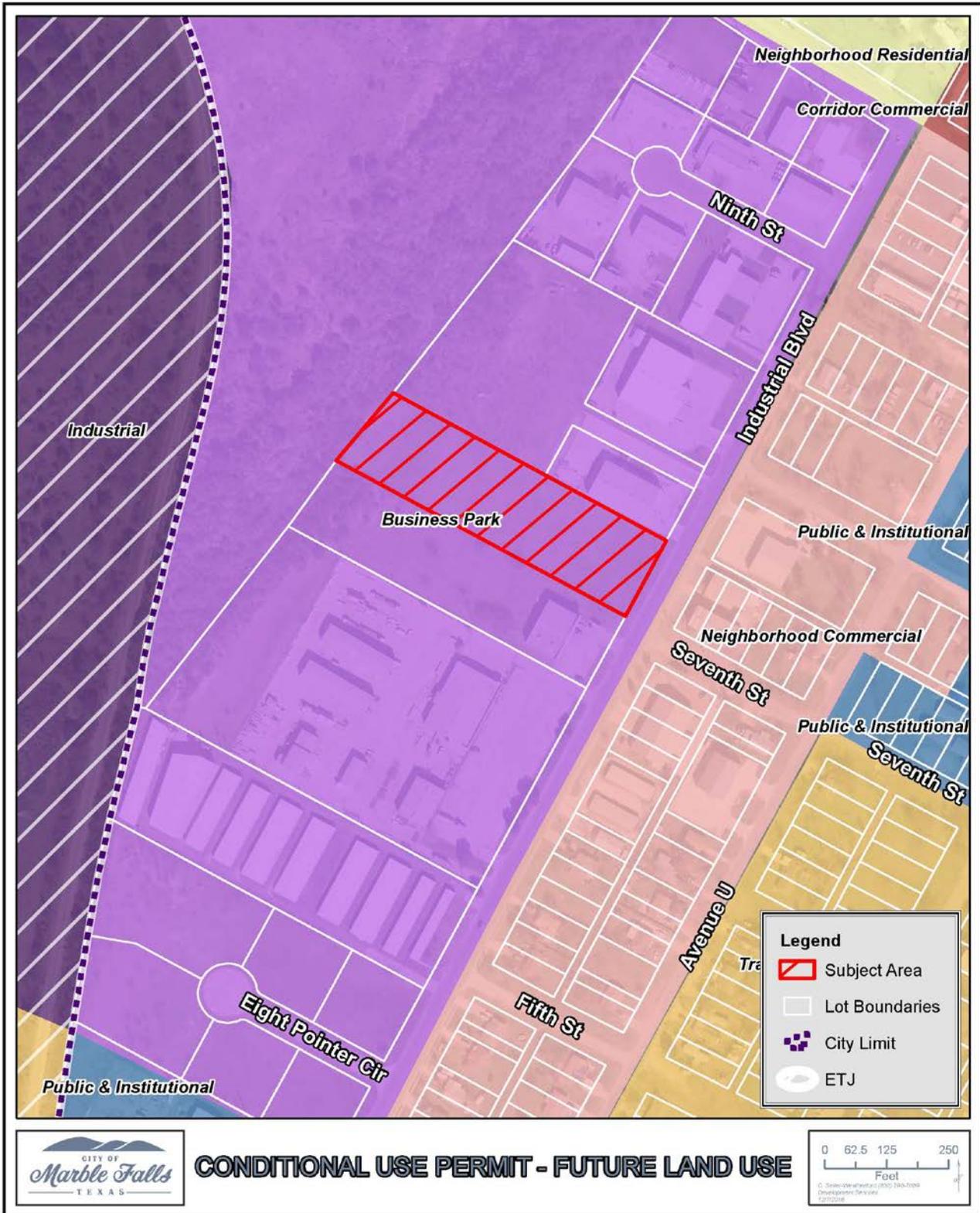


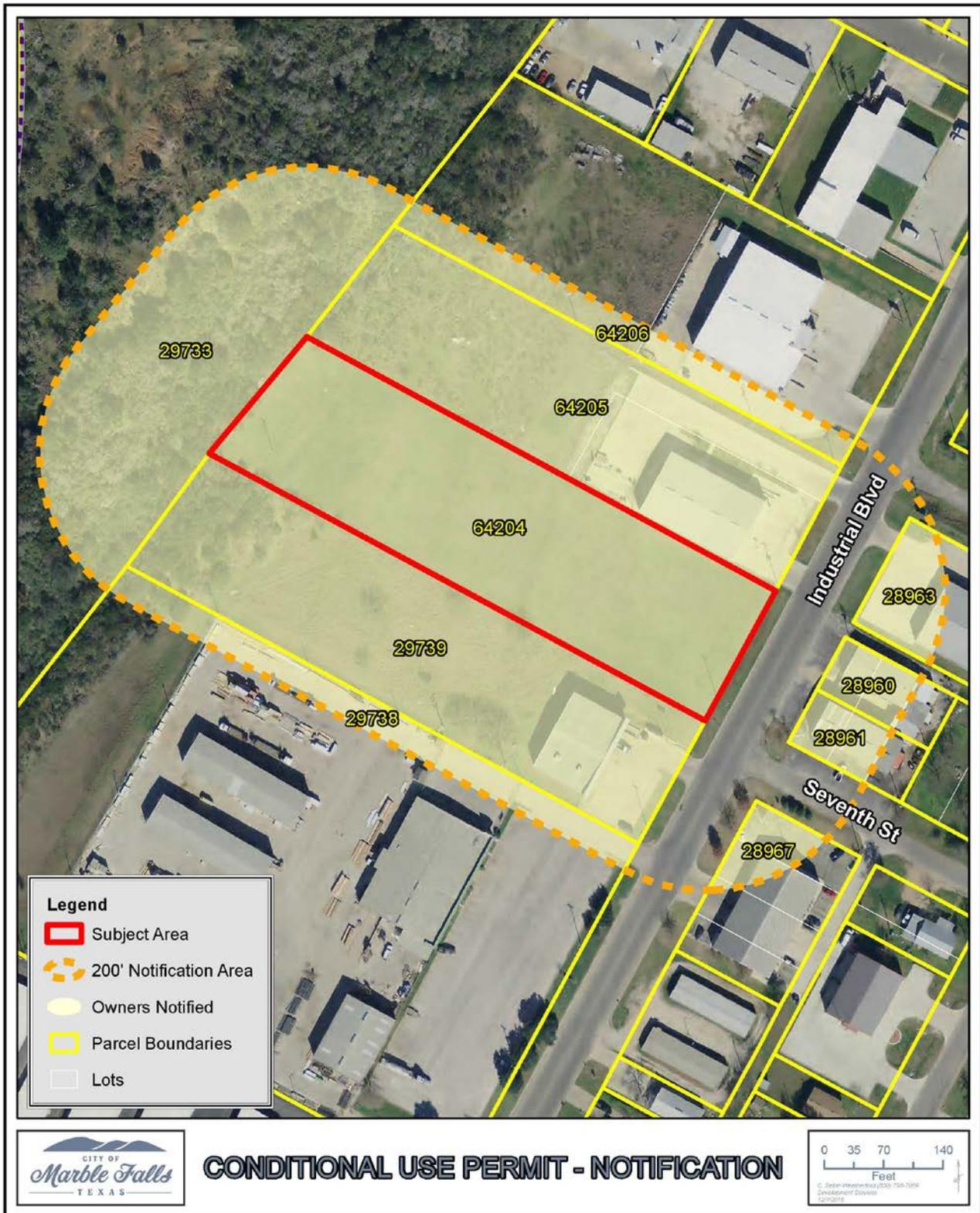




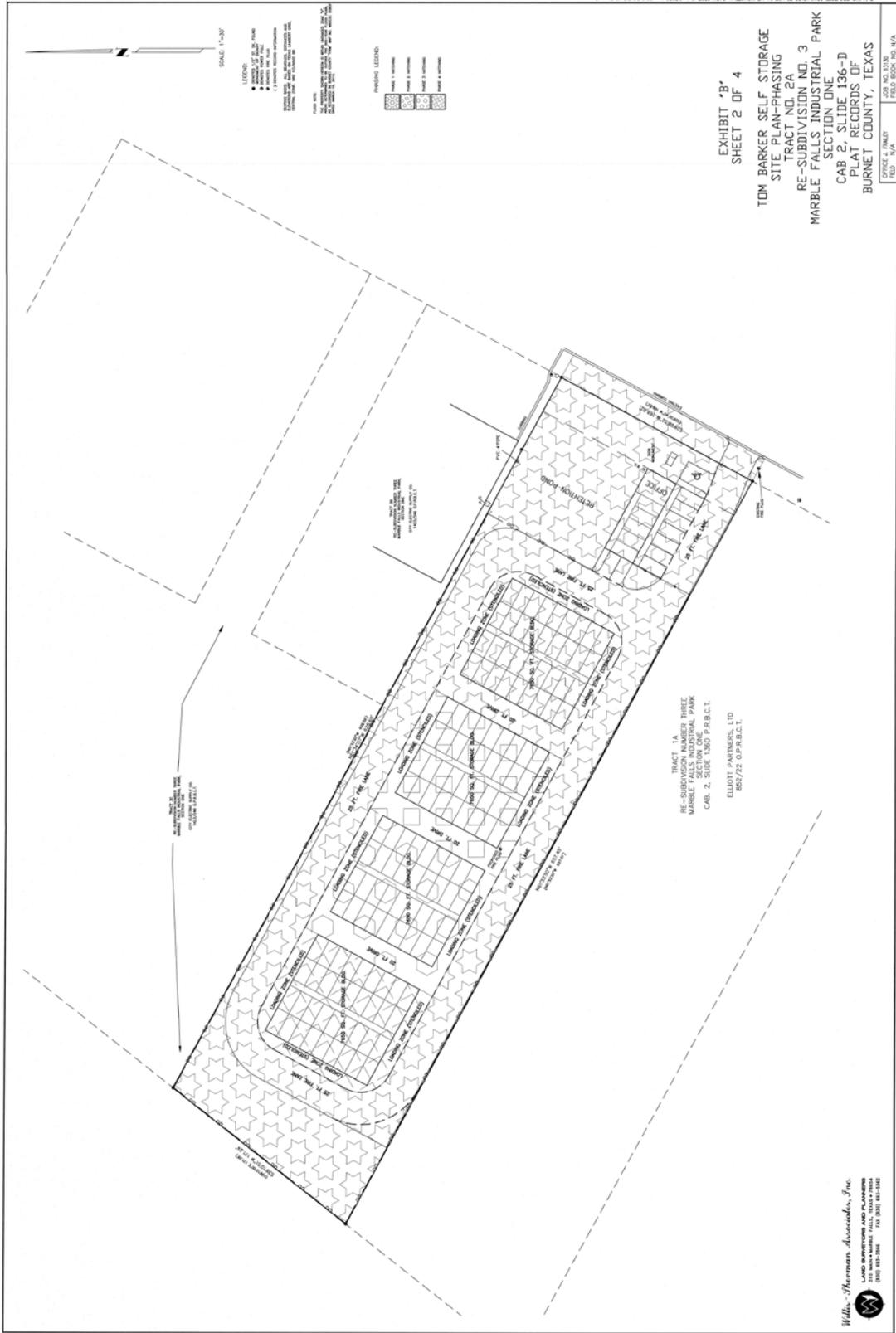




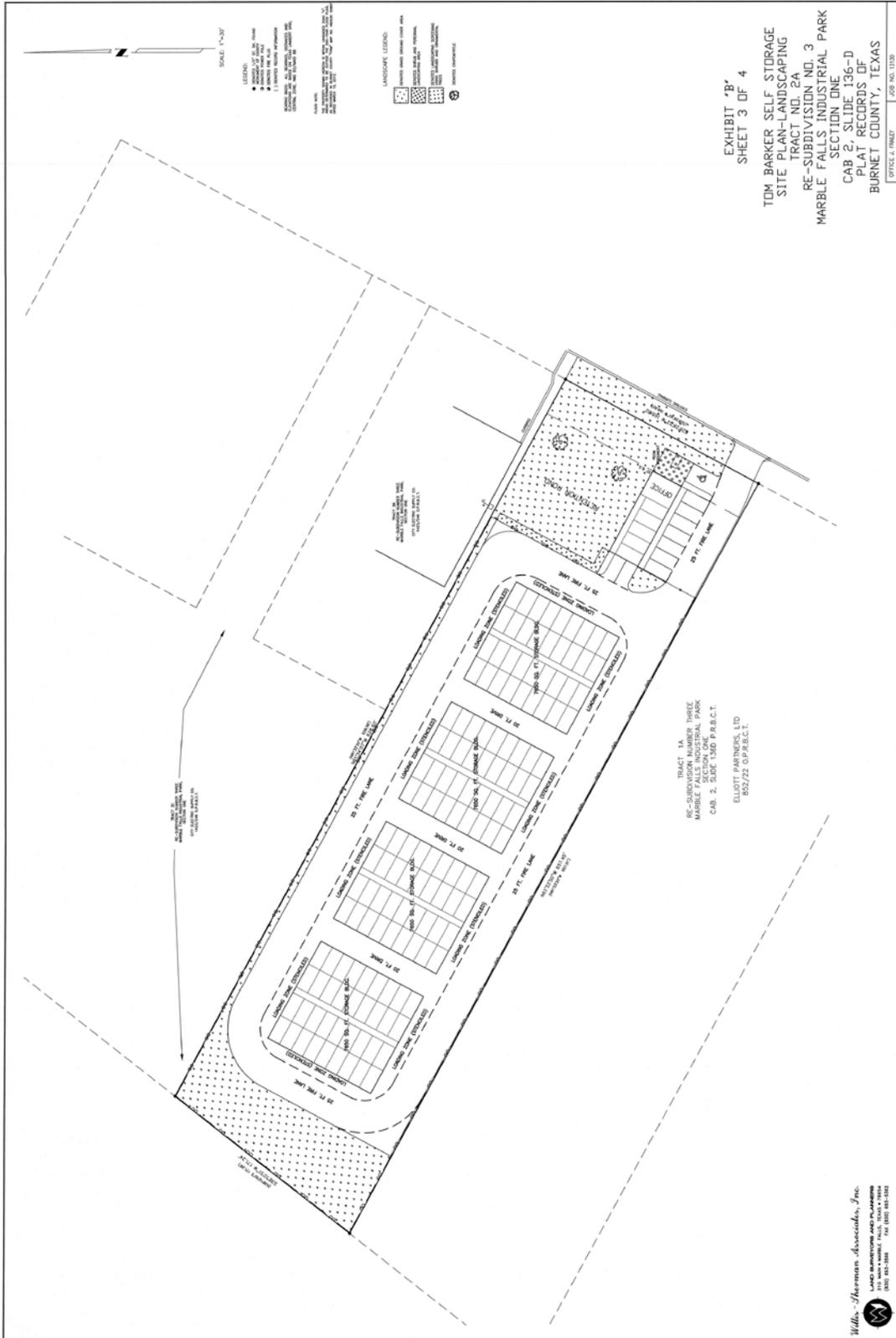




2016-38-CUP Phasing Plan



2016-38-CUP Landscape Plan





**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. D. **Public Hearing, Discussion, and Recommendation:** Regarding a rezoning request from Agriculture District (AG) to General Commercial Base District (C-3) with Concept Plan approval for 2.00 acres out of the R.D. Moore Survey No. 603 Abstract No. 614 and the W.O. Burnham Survey No. 530. Abstract No. 142, City of Marble Falls, Burnet County, Texas.

Requested by: Dark Chocolate Hotels, LLC, applicant, and Paek & Tuk Sony Han, owners

Case: Case 2016-39-Z

SUMMARY

This item is a rezoning request from Agriculture District (AG) to General Commercial Base District (C-3) with Concept Plan approval for the Subject Area consisting of a 2.00 acre tract of land located south of La Ventana Drive, north of the existing Holiday Inn Express & Suites Marble Falls. Due to the Subject Area's proximity to Single-Family Residential (R-1) zoning found on La Ventana Drive, a Concept Plan and Building Elevations are a required component of the rezoning application.

The Subject Area was annexed on August 15, 2005 through Ordinance 2005-O-08D, and temporarily zoned Agriculture (AG) until such time that permanent zoning was requested by the owner/user and approved by the City Council of the City of Marble Falls.

The Subject Area is currently undeveloped. The proposed use for the property is Hotel, limited-service, a land use allowed by right within the C-3 zoning. The submitted Concept Plan and Building Elevations depict a four-story hotel building, with an approximate room count of 87 rooms. The tallest architectural element of the building is 55'-6", which is under the allowed 60' maximum building height of the C-3 zoning district. The Concept Plan, found on page 52, provides 91 parking spaces, exceeding the minimum parking requirements, and exceeds the minimum landscape tree requirement of 8 shade trees within the parking lot. Fire lane access has been provided for on-site, and connection to La Ventana Drive is proposed through use of existing 30' access easements found adjacent to and west of the property.

The minimum exterior appearance for structures within the C-3 zoning district state that the portion of any structure facing or abutting any street shall utilize 75% brick, stone, stucco, wood veneer and/or glass or any combination thereof. The proposed building elevation for the



hotel, found on page 53, meets these minimum requirements by providing a façade incorporating stuccos, masonry, and metal panels and trellis.

Because the rezoning application Subject Area is within five hundred one (501) feet of the zoning district boundary of the Single-Family Base District (R-1), Concept Plan approval is required. The Concept Plan approval is a general acknowledgment by the City that the proposed development conforms to the City's zoning regulations and that it can be adequately served by required public facilities or services. The Concept Plan is applicable as a preliminary plan which must be superseded by subsequent Site Plan approval before the physical development of the property can begin. Once a project is constructed in accordance with the Concept Plan, any use permitted in the zoning district (but not including conditional uses) is an authorized use within the project, unless such use or uses are expressly prohibited in the zoning ordinance approving the project. Any changes to the project other than as allowed by *Section 1108. Minor Amendments to Concept Plans* (found below) require approval of an amendment to the Concept Plan through public hearing heard before the Planning and Zoning Commission and City Council.

1108. - Minor amendments to concept plans.

A. Minor Amendments to approved Concept Plans and Site Plans may be administratively approved by the city staff provided such modifications would not otherwise result in a violation of the City's Code of Ordinances. "Minor Modifications" are defined as:

- 1. Adjustments of no more than one hundred fifty (150) feet to the location or configuration of roadways, sidewalks, utilities, parking areas, buildings, landscape features, ponds and any other improvements depicted on the Concept and/or Site Plan;*
- 2. Adjustments of no more than twenty-five (25) percent in building square footage of any individual building to be constructed as part of the project as compared to such building's initial square footage shown on the Concept Plan or Site Plan; provided no such change may be administratively approved if the change would cause the project to exceed the limitations on impervious cover, height or floor area;*
- 3. A reduction in size of parking lot areas or structured parking garages or density;*
- 4. Adjustments of no more than thirty (30) percent of the total square footage of any landscape areas as compared to the square footage shown and approved on the Concept Plan, Site Plan or landscape plan; and*
- 5. So long as the changes referenced above do not cause an increase in the authorized impervious cover approved for the project.*

Neighboring properties to the south, west, and east of the Subject Area are zoned General Commercial Base District (C-3). The neighboring property to the north is zoned



Neighborhood Commercial Base District (C-1). The proposed zoning district provides good compatibility with existing zoning found in surrounding parcels, based on the concept plan provided by the applicant.

The Comprehensive Plan Future Land Use classification for the Subject Area is Corridor Commercial. The Corridor Commercial future land use classification is intended for lands that will be developed to support local and regional businesses that rely on high traffic volumes and the visibility that is associated with being located along a major roadway. The primary uses allowed in the Corridor Commercial future land use classification are intended to serve both local and regional commercial needs and include all commercial and civic uses as set out in the C-3, General Commercial district in the City's Code of Ordinances. The request for General Commercial Base District (C-3) zoning district is thus consistent with the adopted Comprehensive Plan.

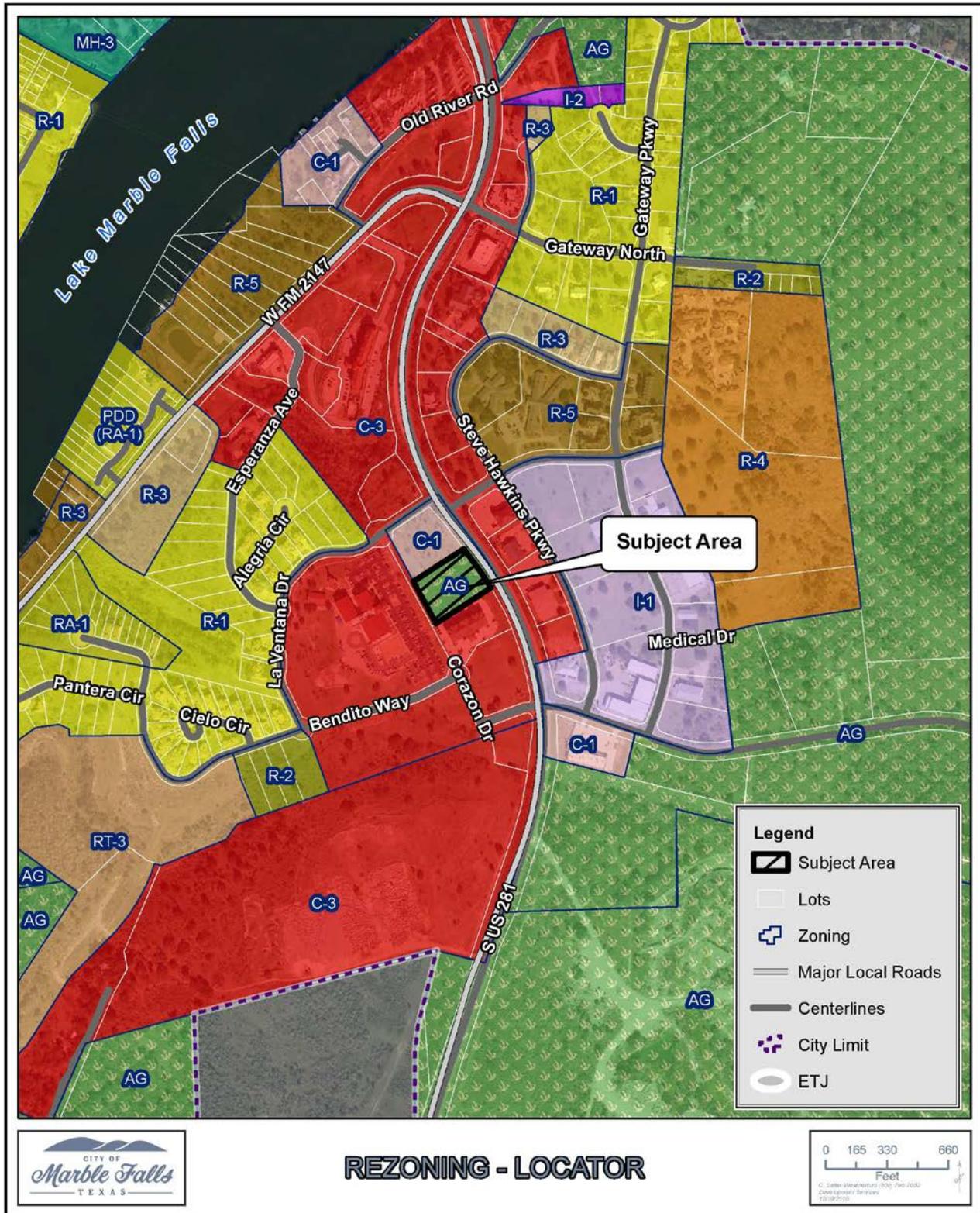
A total of seven (7) adjacent property owners within two hundred feet (200') of the Subject Area were mailed notification letters, including the public hearing dates and a pre-paid comment card for response supporting/opposing the proposed rezoning. At the time of packet distribution zero (0) property owners submitted a response.

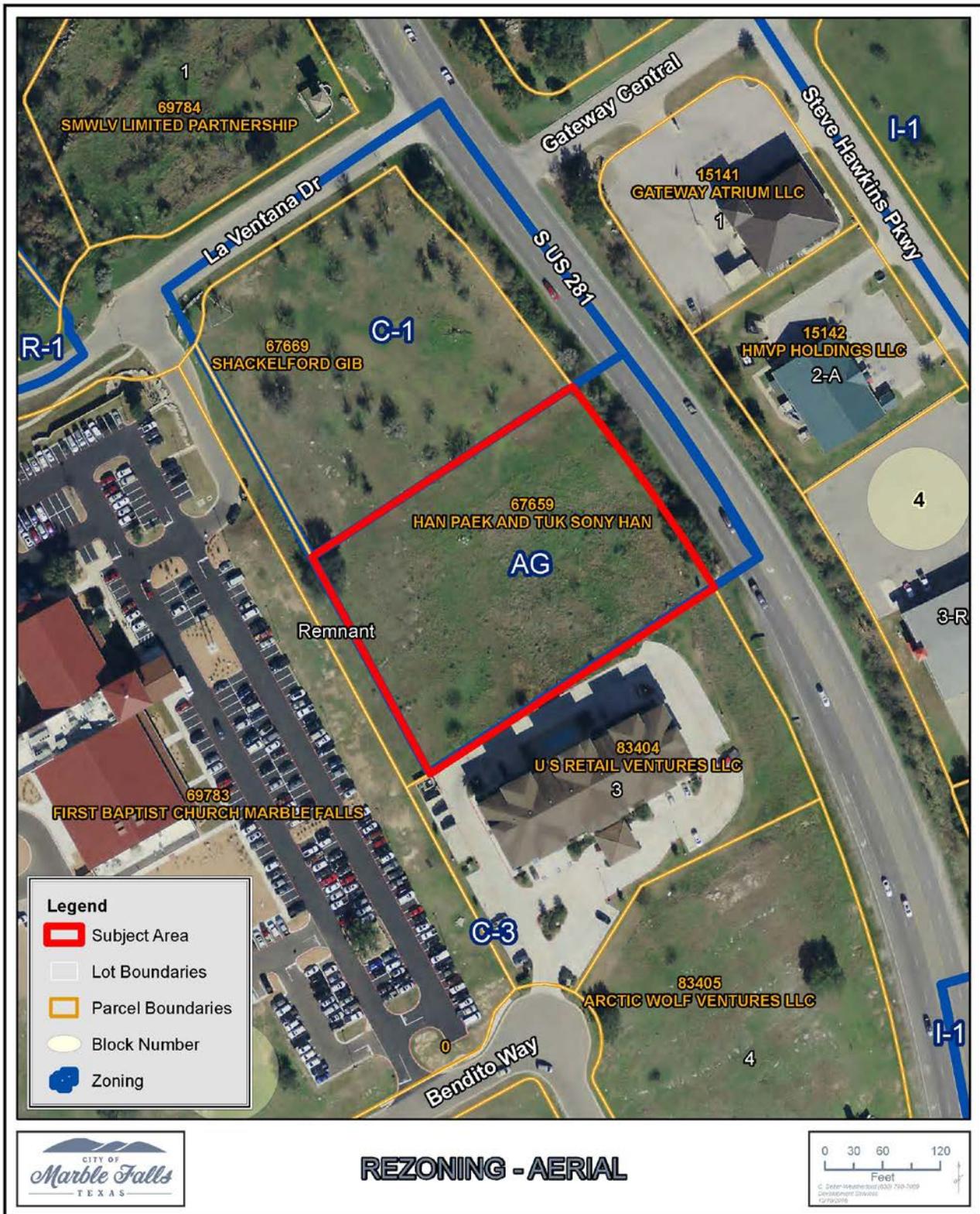
RECOMMENDATION

Due to the conformance with the Comprehensive Plan, the compatibility with surrounding existing land uses, and the submitted Concept Plan and building elevations meeting minimum requirements for the proposed land use, Staff recommends approval of rezoning the 2.00 acre tract from Agriculture District (AG) to General Commercial Base District (C-3) with Concept Plan approval.

Memo Contents:

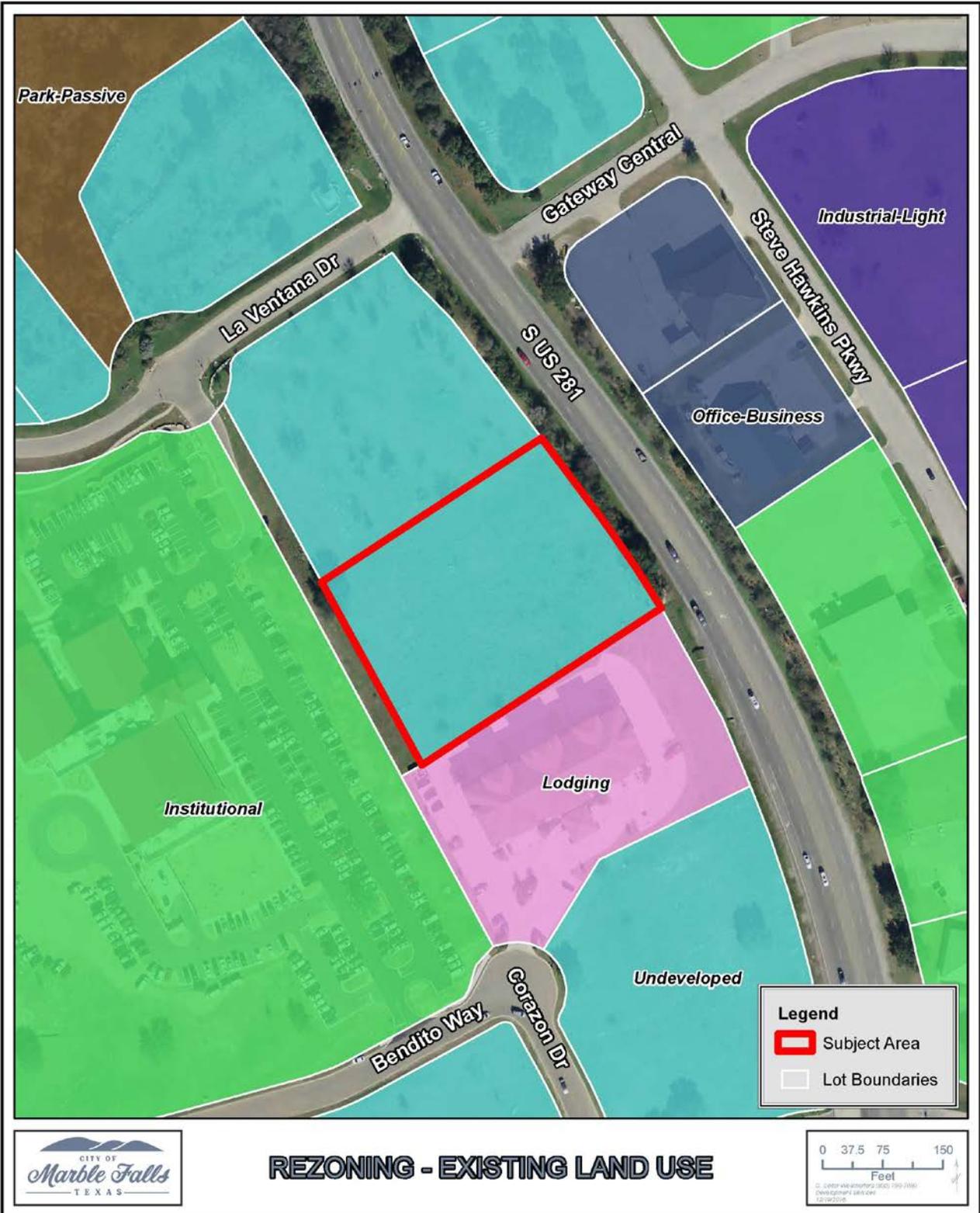
- Informational maps produced by City Staff: **Pages 45 - 51**
- Concept Plan: **Page 52**
- Building Elevations: **Page 53**
- Survey: **Pages 54 - 56**

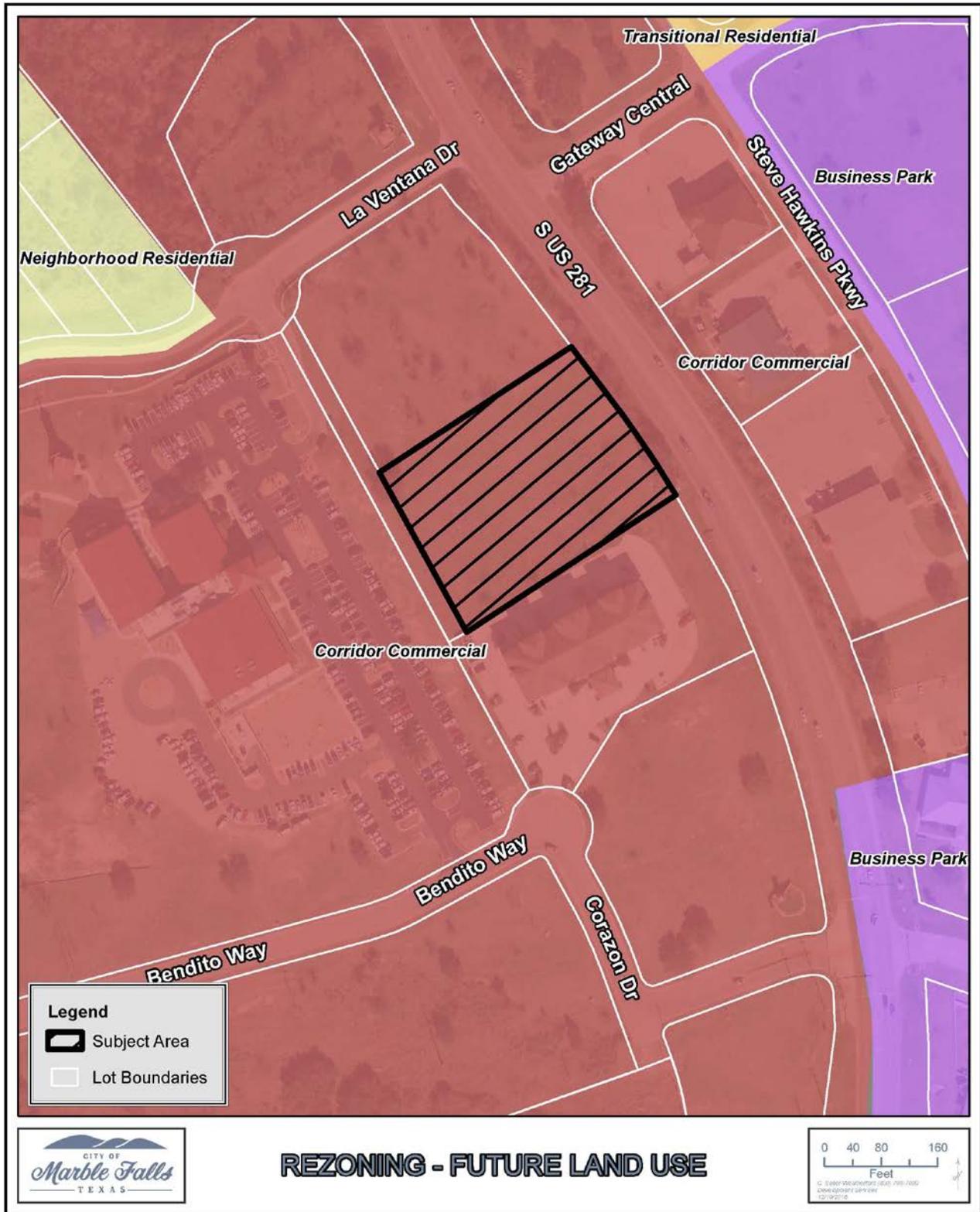






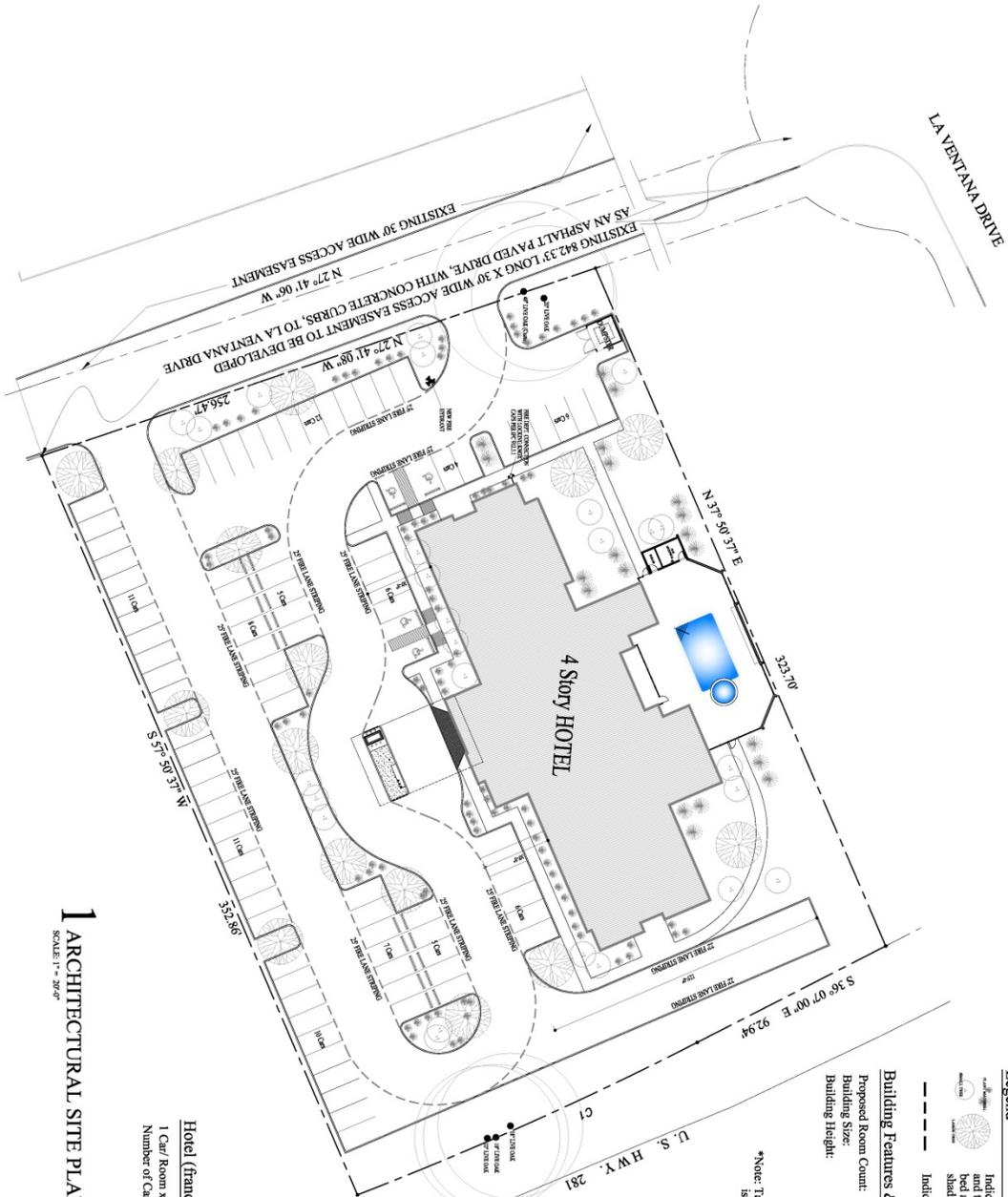








2016-39-Z Concept Plan



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

Hotel (franchise) Parking Requirements
1 Car/ Room x 87 Room = 87 Cars
Number of Cars provided = 91 Cars

Building Features & Information
Proposed Room Count: 87 Room
Building Size: 54,300 s.f. (Approx.)
Building Height:
1st Floor - 13'-6"
2nd Floor - 10'-6"
3rd Floor - 10'-6"
4th Floor - 10'-6"
Total - 45'-0"
*Note: Tallest parapet or architectural element is 55'-0" from 1st floor finished floor.

Legend
Indicates landscape material and trees to be planted in bed areas and trees for parking lot shading.
Indicates fire lane striping.

A-100
Sheet No.

For: **PROPOSED HOTEL**
XXX U.S. HWY 281
MARBLE FALLS, TEXAS 78858

PROJ. # XXXX
TEXAS 78XXX

Addendum:

406 N. ST. MARIE, STE. 100
SAN ANTONIO, TEXAS 78208
P. 210.834.1435 F. 210.834.7434



2016-39-Z Rendering





MARBLE FALLS SURVEYING & MAPPING
 110 AVE. H, SUITE 212
 MARBLE FALLS, TEXAS 78654
 (830) 693-8815 FAX (830) 693-8915

EXHIBIT "A"

STATE OF TEXAS:
 COUNTY OF BURNET:

Field notes of a 2.00 acre tract of land consisting of approximately 1.90 acre out of the R. D. Moore Survey No. 603, Abstract No. 614 and 0.10 acre out of the W. O. Burnham Survey No. 530, Abstract No. 142 in Burnet County, Texas and being a portion of that certain 10.00 acre tract of land conveyed to Sonja Huicha Song Steakley recorded in Volume 864, Page 521 of the Official Public records of Burnet County, Texas.

Beginning at a 1/2" iron rod found in the Southwest right-of-way line of U. S. Highway No. 281 and the Northeast line of said 10.00 acre tract for the most Easterly corner of that certain 2.00 acre tract of land conveyed to Shackelford and Shackelford recorded in Volume 975, Page 429 of the Official Public Records of Real Property, Burnet County, Texas and the most Northerly corner hereof, from which a concrete highway right-of-way monument found bears N36°07'00"W (basis of bearings for this survey), a distance of 182.99 feet;

Thence with the Southwest right-of-way line of said U. S. Highway No. 281, the Northeast line of said 10.00 acre tract and the Northeast line hereof with (2) courses and distances as follows:

- (1) S36°07'00"E (basis of bearings for this survey), a distance of 92.94 feet to a concrete highway right-of-way monument found for an angle point hereof and the P.C. of a curve to the right, from which the radius point of said curve to the right bears S53°53'46"W, a distance of 1567.07 feet;
- (2) around said curve to the left, the radius of which is 1,567.07 feet, through a central angle of 05°57'44", an arc distance of 163.07 feet and a chord bearing of S33°07'22"E with a distance of 162.99 feet to a 1/2" iron rod set for the most Easterly corner hereof;

Thence S57°50'37"W with the Southeast line hereof, a distance of 352.86 feet to 1/2" iron rod set for the most Southerly corner hereof;

Thence N27°41'08"W with the Southwest line hereof, a distance of 256.47 feet to a 1/2" iron rod set for the Northwest corner hereof;

Thence N57°50'37"E with the Northwest line hereof, a distance of 323.70 feet to the Point of Beginning. Containing 2.00 acres.

The above described 2.00 acre tract being accompanied by an access easement, the description of which is as follows:

Beginning at a 1/2" iron rod set in the Southwest right-of-way line of U. S. Highway No. 281 and the Northeast line of the above described 10.00 acre tract for the most Northerly corner of the above described Shackelford 2.00 acre tract and an Easterly corner hereof;

Thence S58°02'01"W with the Northwest line of said Shackelford 2.00 acre tract and a Southeasterly line hereof, a distance of 270.77 feet pass to a 1/2" iron rod found for the most Westerly corner of said Shackelford 2.00 acre tract and an angle point hereof;

Thence S27°41'08"E with the Southwest line of said Shackelford 2.00 acre tract, the Southwest line of the herein described 2.00 acre tract and a Northeasterly line hereof, at a distance of 292.04 feet pass a 1/2" iron rod found for the most Southerly corner of said Shackelford 2.00 acre tract and the most Westerly corner of the herein described 2.00 acre tract, in all a total distance of 548.51 feet to a 1/2" iron rod set for the most Southerly corner of said herein described 2.00 acre tract and the most Southeasterly corner hereof;

Thence S62°18'52"W with the Southeast line hereof, a distance of 30.00 feet to a monument point in the Northeast line of that certain 139.0558 acre tract of land known as First Tract conveyed to Capt. Joseph recorded in Volume 948, Page 229 of the Official Public Records of Burnet County, Texas and the Southwest line of said 10.00 acre tract for the most Southerly corner hereof;

OFFICIAL PUBLIC RECORD
 BURNET COUNTY TEXAS
 11/19/93



MARBLE FALLS SURVEYING & MAPPING
 110 AVE. H, SUITE 212
 MARBLE FALLS, TEXAS 78654
 (830) 693-8815 FAX (830) 693-8915

Page 2 of 2 – 2.00 Acres

Thence N27°41'08"W with the Northeast line of said 139.0558 acre tract, the Southwest line of said 10.00 acre tract and the Southwest line hereof, a distance of 606.43 feet to a computed point for the most Westerly corner hereof, from which a 1/2" iron rod found for and an angle point in the Northeast line of said 139.0558 acre tract and the most Westerly corner of said 10.00 acre tract bears N27°41'08"W, a distance of 48.13 feet;

Thence N58°02'01"E with the Northwest line hereof, a distance of 295.38 feet to a computed point in the Southwest right-of-way line of said U. S. Highway No. 281 and the Northeast line of said 10.00 acre tract for the most Northerly corner hereof, from which a 1/2" iron rod found for an angle point of said 139.0558 acre tract and the most Northerly corner of said 10.00 acre tract bears N30°23'10"W, a distance of 48.02 feet, said computed point also being in a curve to the left, from which the radius point of said curve to the left bears N58°29'30"E, a distance of 1,225.92 feet;

Thence with the Southwest right-of-way line of said U. S. Highway No. 281, the Northeast line of said 10.00 acre tract, the Northeast line hereof and said curve to the left the radius of which is 1,225.92 feet, through a central angle of 02°48'18", an arc distance of 60.01 feet and a chord bearing of S32°54'39"E with a distance of 60.01 feet to the Point of Beginning. Containing 0.61 acres.

OFFICIAL PUBLIC RECORD
 BURNET COUNTY TEXAS

0978 0349



Charles Calhoun

CHARLES CALHOUN REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4452

JOB NO: 1172

APRIL 5, 2001

OFFICE: B. BURTON



**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. E. **Discussion and Recommendation:** Regarding a Construction Plat for the Gregg Ranch at Marble Falls Subdivision, Phase One, being 45.48 acres out of the A. Bradley Survey No. 79, Abstract No. 61, City of Marble Falls, Burnet County, Texas.
Requested by: K.C. Engineering, Inc, applicant, and Marble Falls 300, LP and Marble Falls Partners, LP, owners
Case: Case 2016-17-CP

SUMMARY

This item is for consideration of the Construction Plat for Phase One of the Gregg Ranch at Marble Falls Subdivision, including public infrastructure extensions of water, wastewater, dedication and construction of new public roadway infrastructure, and an associated waiver/suspension request from the Subdivision Regulations..

The Subject Area was zoned as a Planned Development District (PDD) with base zoning of Single-Family Base District (R-1) and Mixed Use Base District (MU-1) by Council on July 7, 2015 via Ordinance No. 2015-O-07B. The approved Master Plan for the residential community can be found on page 72. This item, being the preliminary platting of lots and construction of infrastructure extensions necessary to serve said lots, is the next phase of development for the project. Most recently, the Commission heard a request from the applicant of the Project in order to amend the originally approved Phasing Plan for the Gregg Ranch at Marble Falls. Specifically the amendment requested delaying the construction of the Amenity Center (a 4.58 acre tract) to be a Phase Two improvement. The submitted construction plat and subdivision improvement plans depict this Phasing Plan amendment.

The Subject Area for Phase One is approximately 45.48 acres, and is proposed to be subdivided into a one hundred and fifty-five (155) residential lot subdivision. The applicant has submitted the required preliminary Construction Plat document. There are a few minor corrections (depiction of utility easements and textual plat note changes) of the plat document being completed by the applicant/surveyor at this time. City Staff will provide the updated plat document to the Commission at the meeting.

The applicant has also submitted the required civil engineering Construction Plans for the proposed public improvements, including public roadways and sidewalks/trails, drainage



infrastructure, street lights, water, and wastewater improvements. City Staff has reviewed the plans and a majority of the proposed civil engineering design for the proposed public improvements meets City requirements and/or the approved PDD standards, however, a few Staff comments remain to be addressed. Below is a summary of the proposed public improvements, the waiver/suspension request submitted by the applicant, and any outstanding Staff comments for the project:

Lots - The approved Land Use and Site Development Regulations for the project are found on page 75. The submitted Construction Plat meets the minimum lot widths and lot sizes, providing residential lots ranging from 6,000 sq ft to 16,000 sq ft. Ten foot (10') landscape buffers have been provided for residential lots which front/back any Minor Collector Street.

Streets - There is 8,883 centerline feet of new roadway (11.96 acres of public right-of-way) that will be dedicated and constructed with this plat. Two Minor Collector Streets have been provided in accordance with the approved Master Plan, to be known as Gregg Ranch Boulevard and West Cora Lee Loop. These two collector streets provide two entrances into the subdivision. The Gregg Ranch Blvd entry will be constructed during Phase One, and the West Cora Lee Loop connection to Highway 281 will come in a future phase. No residential driveway access or driveway cuts will be allowed on the two Minor Collector streets. Residential streets known as Jasmine Lane, Thistle Trail, Slenderleaf Drive, Fiddleneck Road, Indigo Trail, Peppervine Cove, Verbena Drive, and Copperleaf Cove will also be provided.

Regarding the proposed street and thoroughfare network for the project, the PDD standards require that during the review and approval of the first Plat applicable to development of this Project, the Developer must submit a Traffic Impact Analysis (TIA) for the entire Project, which shall be applicable to all phases. The applicant has submitted a TIA for the entire project, however City Staff has issued comments for TIA document which need to be addressed. Staff recommends adding a condition to the Construction Plat approval stating TIA comments should be addressed and approved by City Staff prior to issuance of a Site Development Permit.

Sidewalks – Five foot (5') concrete sidewalks will to be constructed on both sides of all residential and collector streets within the residential subdivision, with the exception of a few segments along West Cora Lee Loop and Gregg Ranch Blvd when approaching the amenity tract. These segments (as depicted on page 66) will feature public multi-use trails with a minimum trail width of eight feet (8') along street sections as an alternative to sidewalks. This trail alternative was approved in the PDD standards for the project, and requires that the public trails will at minimum be comprised of crushed granite gravel, with concrete incorporated at



washout-prone areas, drainage areas, and areas with slopes greater than ten percent (10%). All public trails are also required to have concrete edging or an equivalent material edging as approved by the City.

Private Pocket Park – As depicted in the Approved Park, Open Space, and Amenities Plan on page 73, Phase One is depicted to include an HOA maintained private pocket park for use by the Gregg Ranch at Marble Falls residents. According to PDD standards all parks, trails, and amenities must be constructed in their entirety within the Phase they are proposed, and must provide connections to future Phases if necessary. Due to the proximity to the private amenity center, which will include playground equipment, the private park in Phase I was not required to include playground equipment, however construction plans for the pocket park improvements are needed in order to allow for Final Plat approval of Phase One. The submitted construction plans do not include designs for said park improvements, therefore Staff recommends that a stipulation be added to the Construction Plat approval stating that construction plans for the pocket park must be submitted and approved by City Staff prior to Final Plat approval.

Utilities – The majority of the proposed water line extensions, wastewater line extensions, and drainage infrastructure necessary to serve the proposed lots meet City standards and the approved PDD standards and Utility Plan, however there are a few City staff comments regarding grading, waterline design, and clarifications/corrections to plan sheets as required by the City Engineer, which the Staff is working with the applicant to resolve. City Staff will provide the Commission an update regarding these topics at the time of the meeting.

Waiver Request - The applicant has submitted a waiver/suspension request for the Subdivision Regulations, Sections 825.c.7 and 833d., which require that all street pavement, sidewalks, and utility lines be extended to the westernmost property boundary to allow for future connection by adjoining neighbors. The applicant has requested to defer construction of improvements beyond the Copperleaf Cove and Gregg Ranch Blvd intersection, to the edge of the Subject Area property boundary, stating that it is the applicant's opinion that constructing the dead-end segment of Gregg Ranch Blvd could be confusing to traffic and may lend itself to abuse. Because the required right-of-way is proposed to be dedicated up to the westernmost property boundary, allowing for future construction, Staff recommends approval of the waiver as it will not inhibit or otherwise harm neighboring property owners, the subdivision, or the general public.



This item is a construction plat. No notification of adjacent property owners is required for a construction plat.

RECOMMENDATION

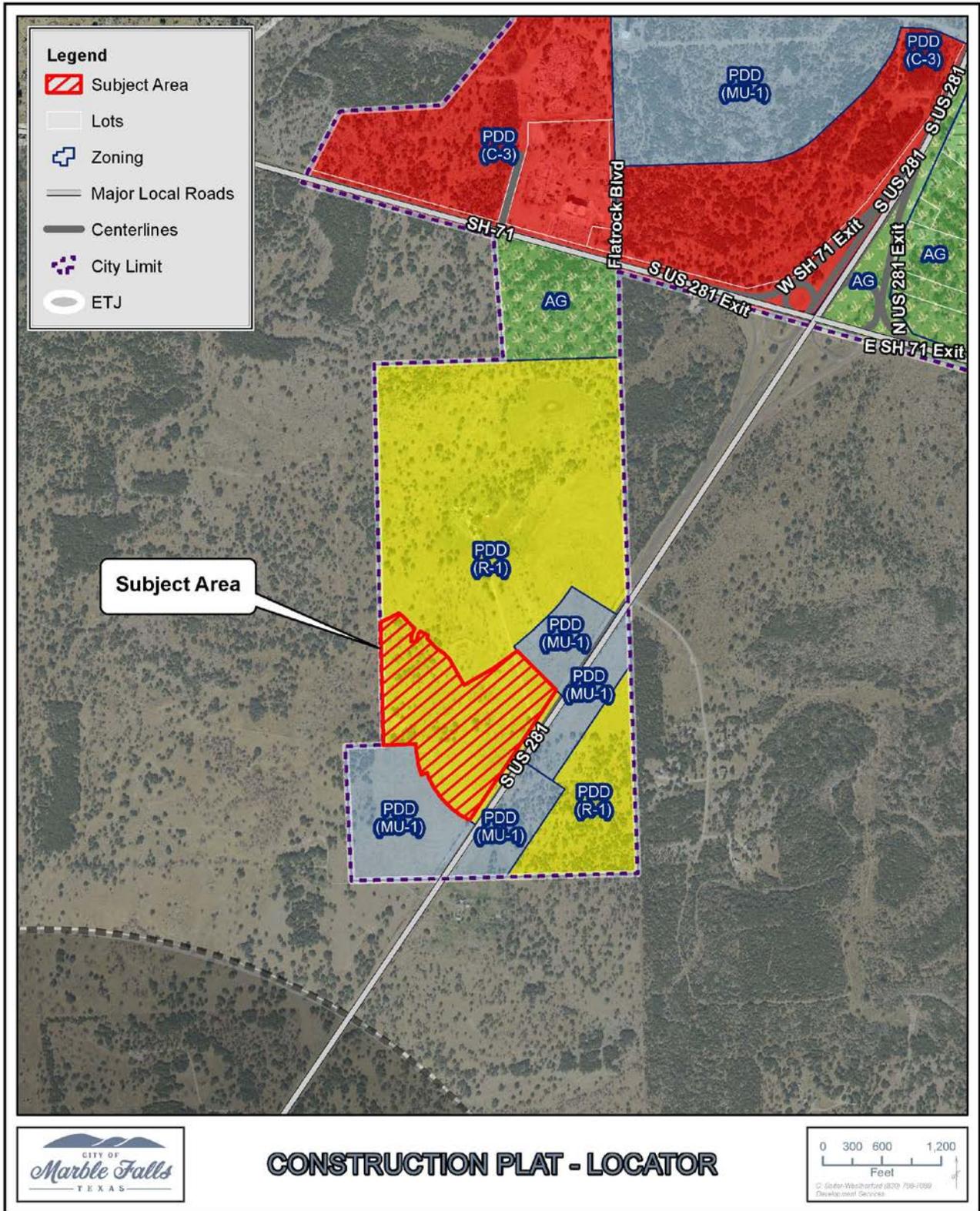
Due to conformance with the Subdivision Regulations and approved PDD development standards (pending waiver request approval and plat/plan corrections), conformance with the City’s Comprehensive Plan, the overall benefit of the proposed public improvements, and the need for diversification of City Housing inventory, Staff recommends approval of the construction plat for Phase One of Gregg Ranch and waiver request, subject to the following conditions:

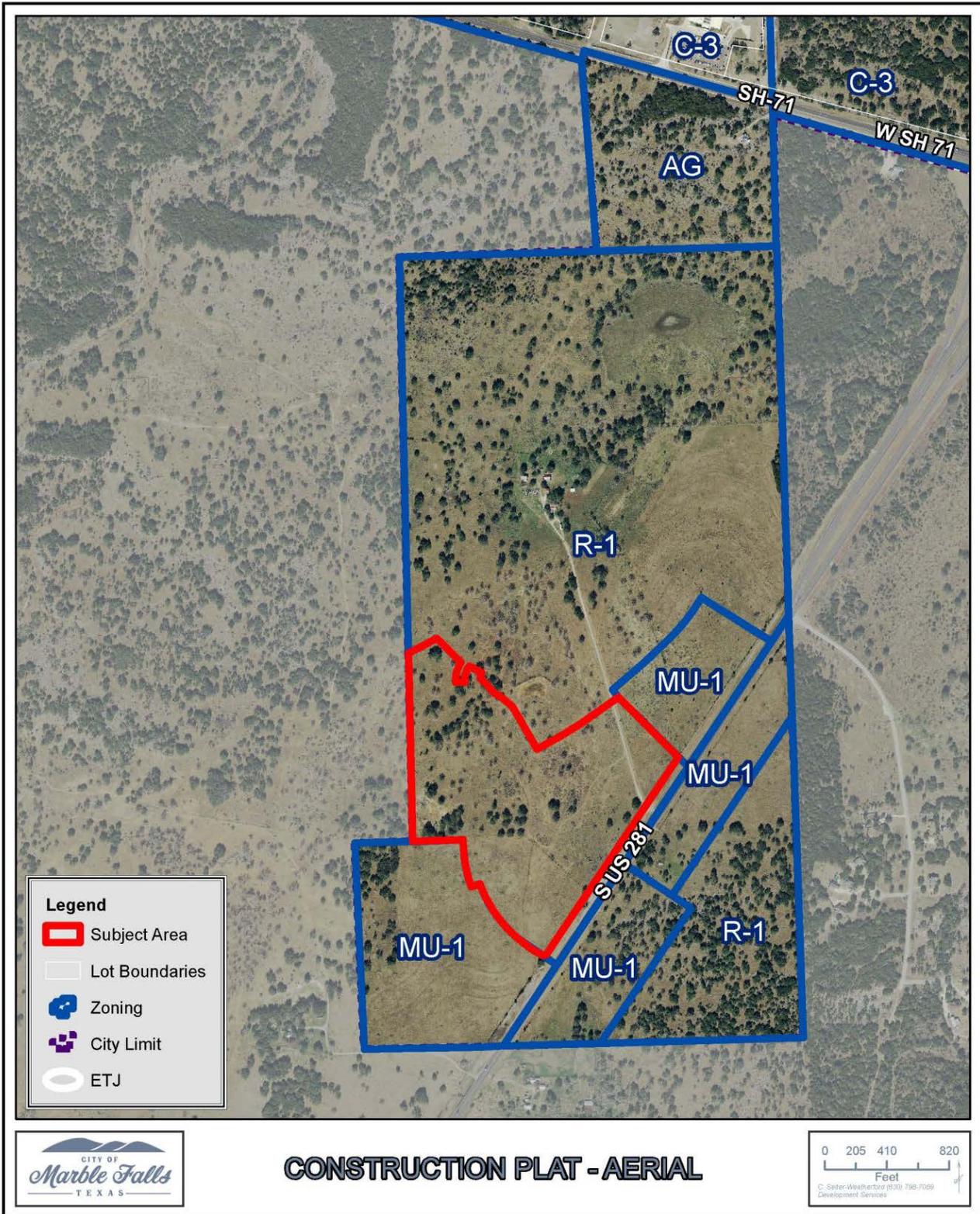
1. That the Construction Plat, Traffic Impact Analysis (TIA), and construction plans be updated with final revisions based on City Staff Review Comments and resubmitted prior to issuance of a Site Development Permit.

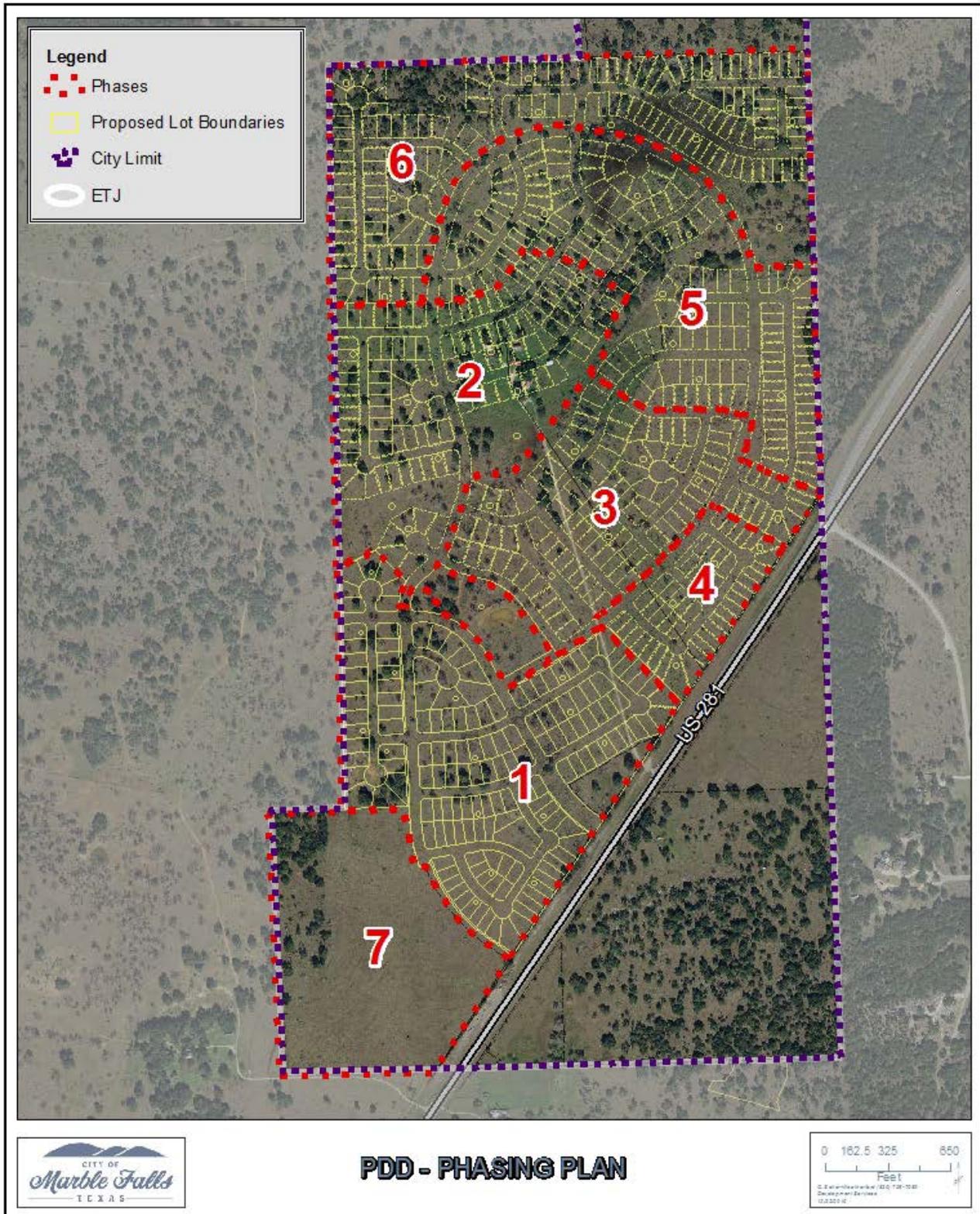
2. That construction plans for the pocket park be submitted and approved by the City Staff prior to Final Plat approval.

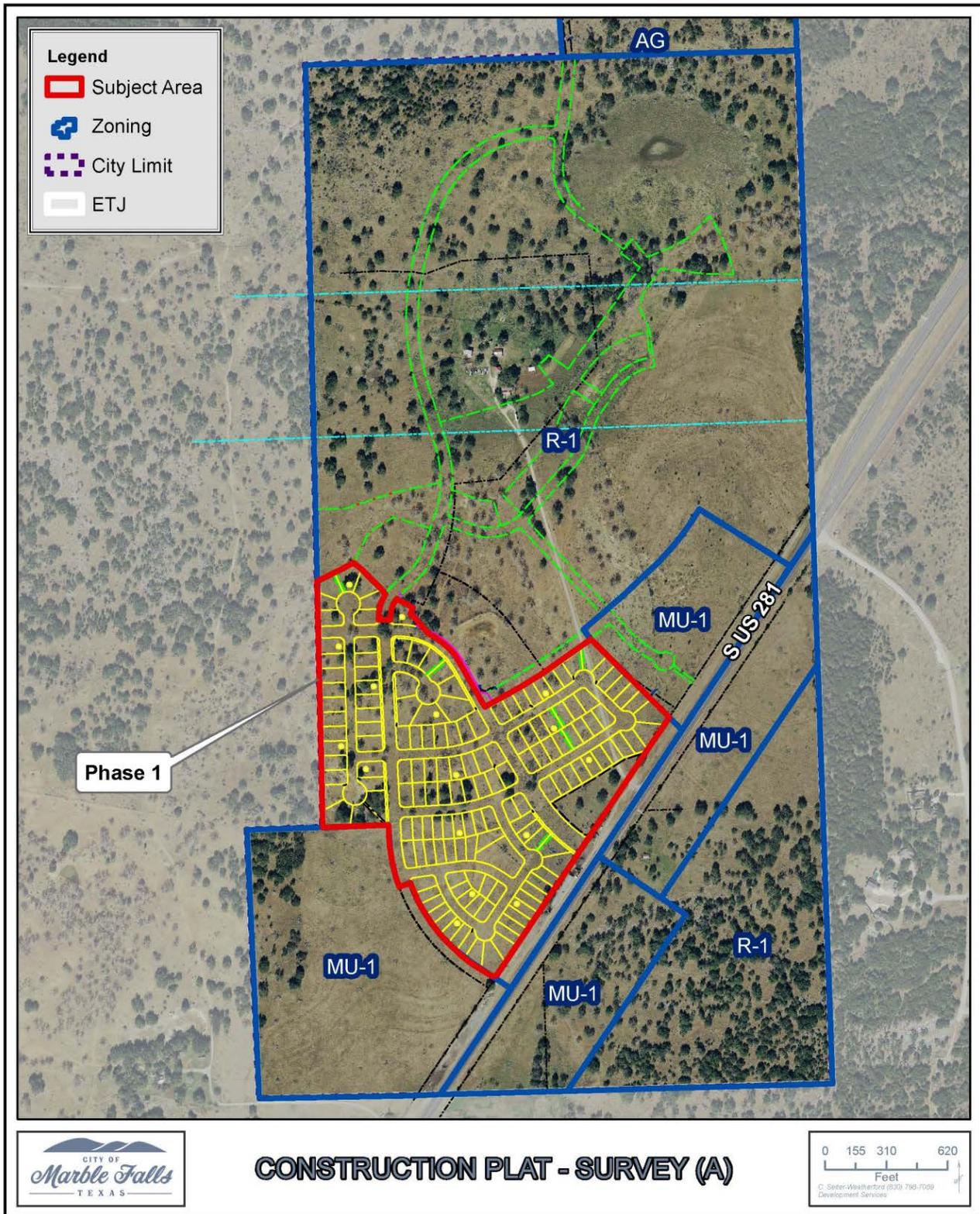
Memo Contents:

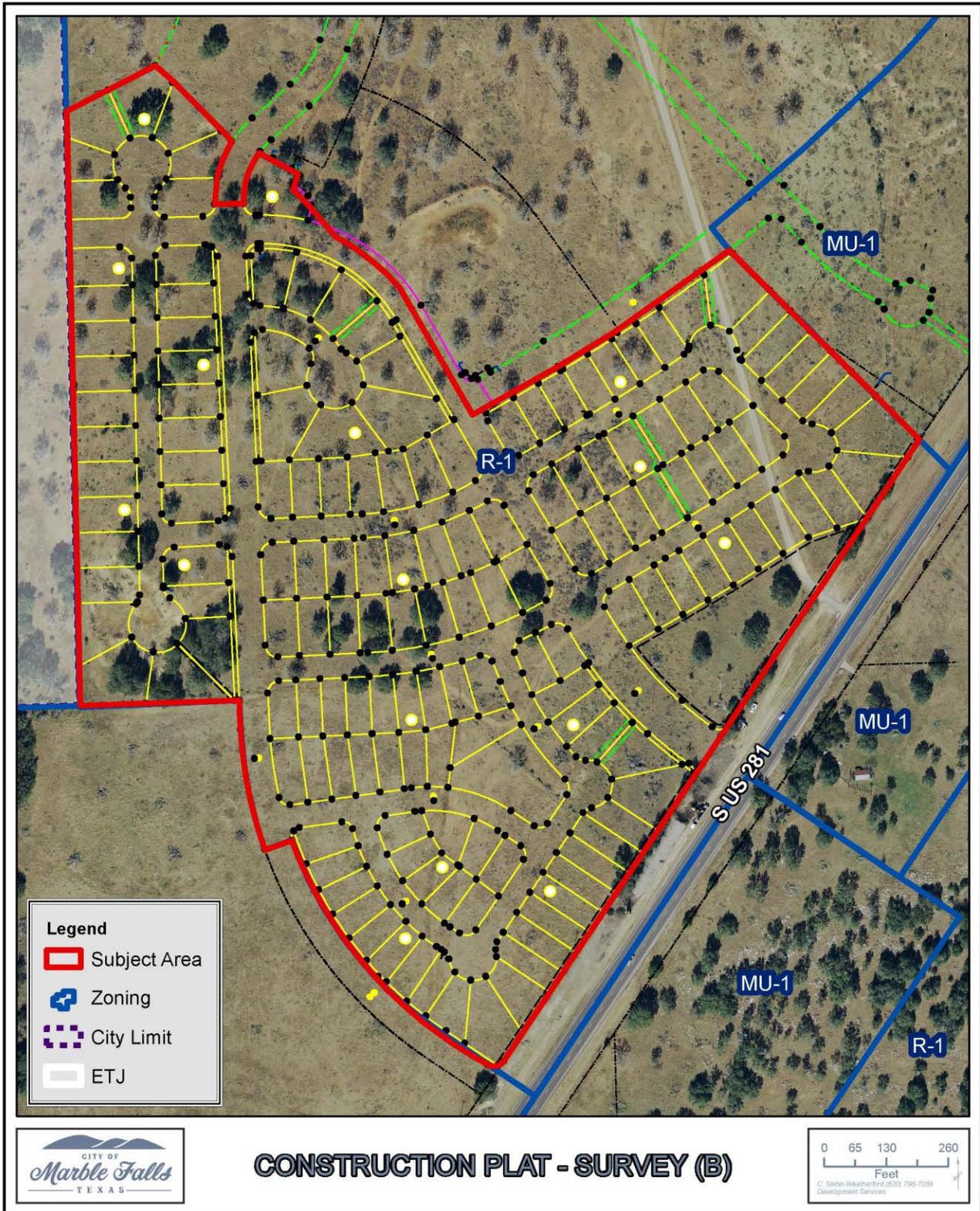
- Informational maps produced by City Staff: **Pages 61 - 71**
- Approved Master Plan: **Page 72**
- Approved Parks, Open Space, and Amenities Plan: **Page 73**
- Amended Phasing Plan: **Page 74**
- Approved Land Uses and Lot Standards: **Page 75**
- Street Plan: **Page 75**
- Water Plan: **Page 77**
- Wastewater Plan: **Page 78**
- Construction Plat: **Pages 79 - 87**

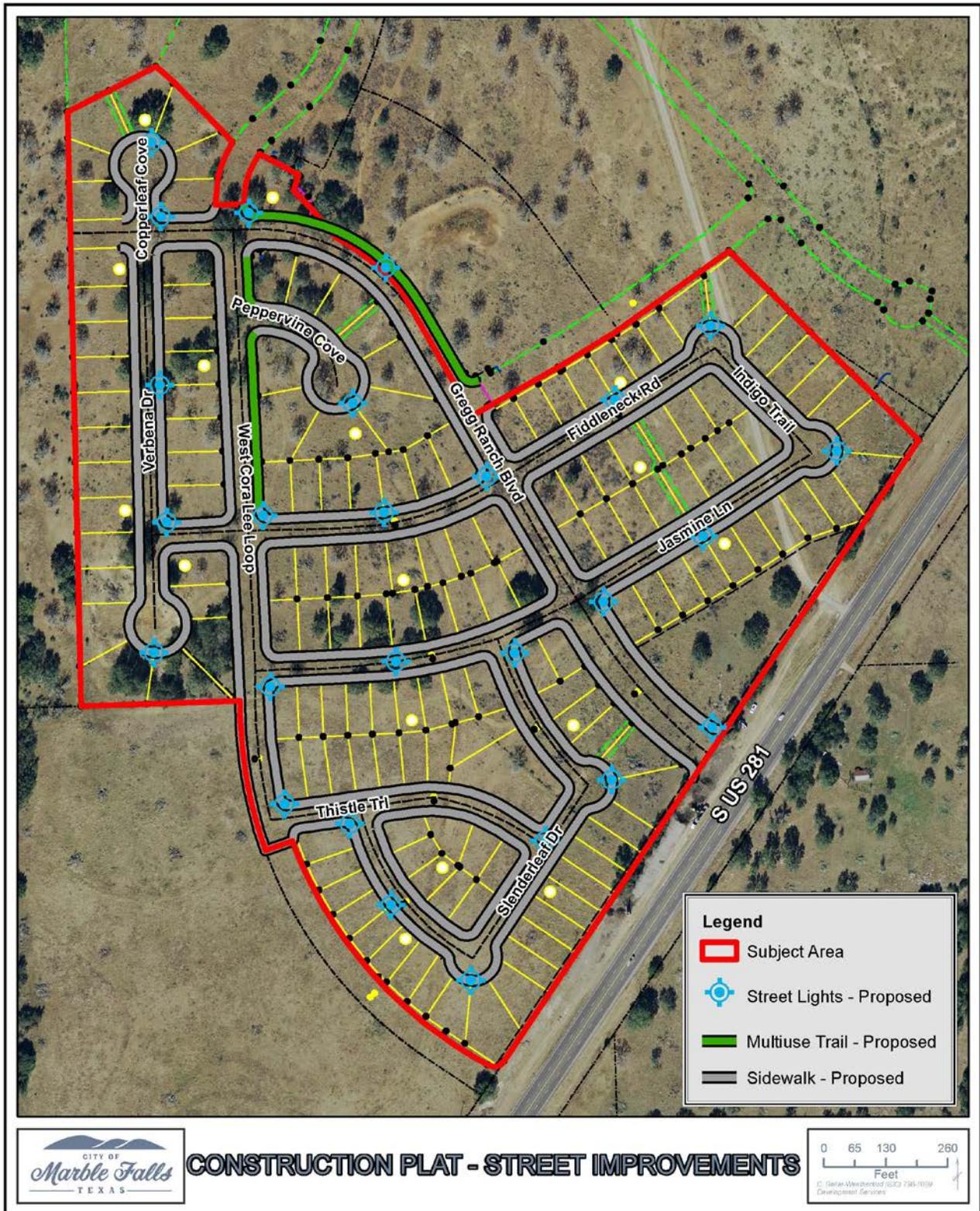


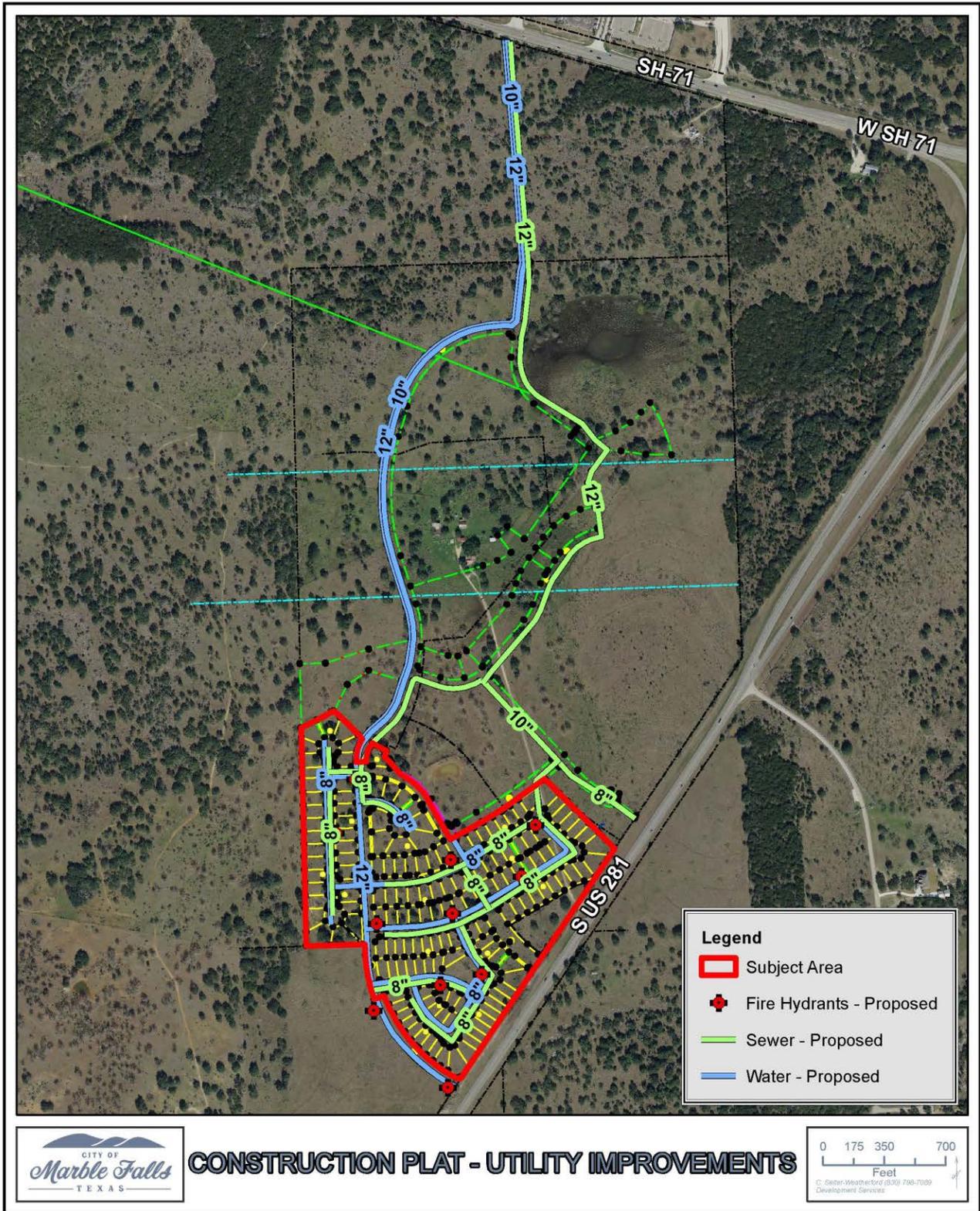


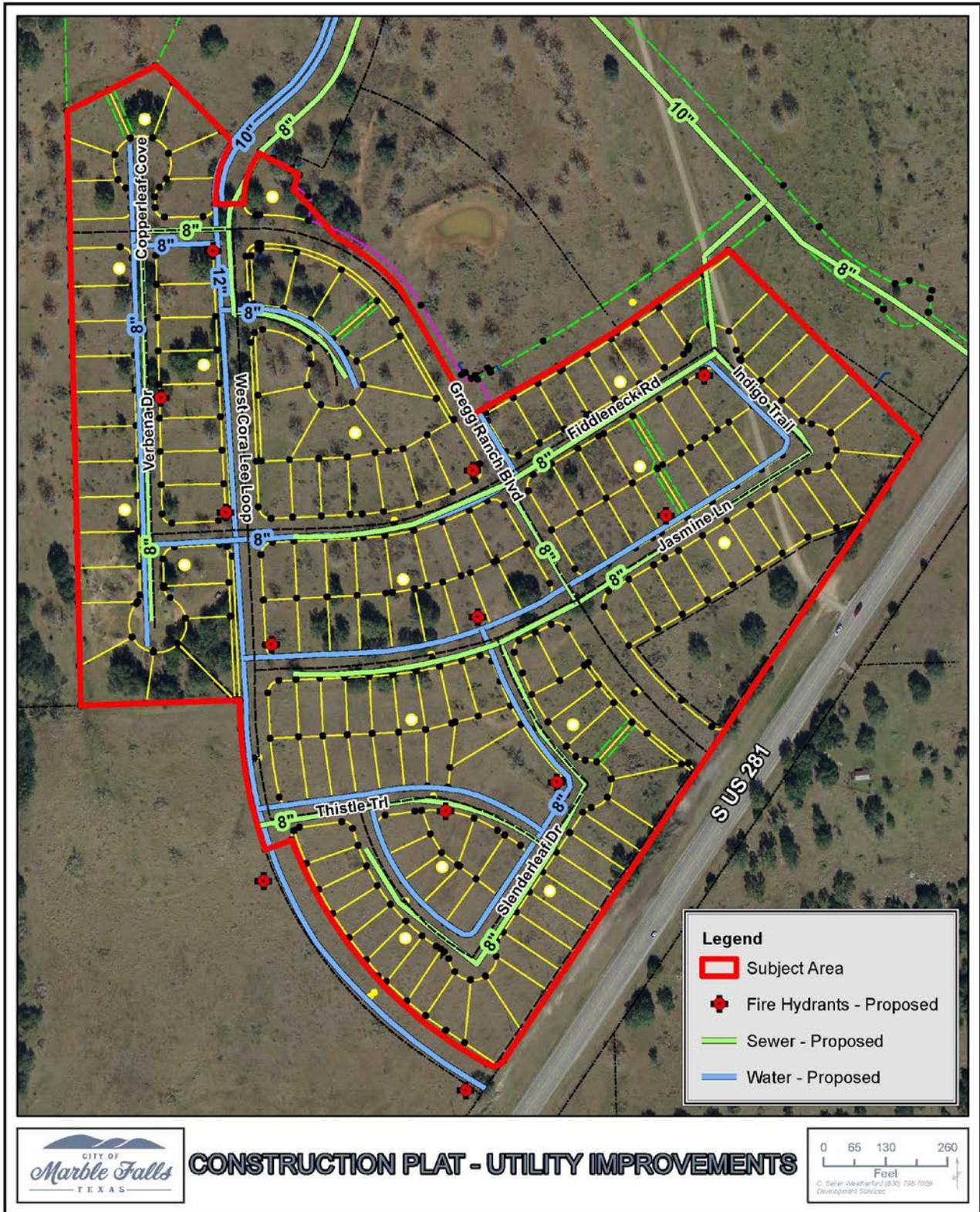


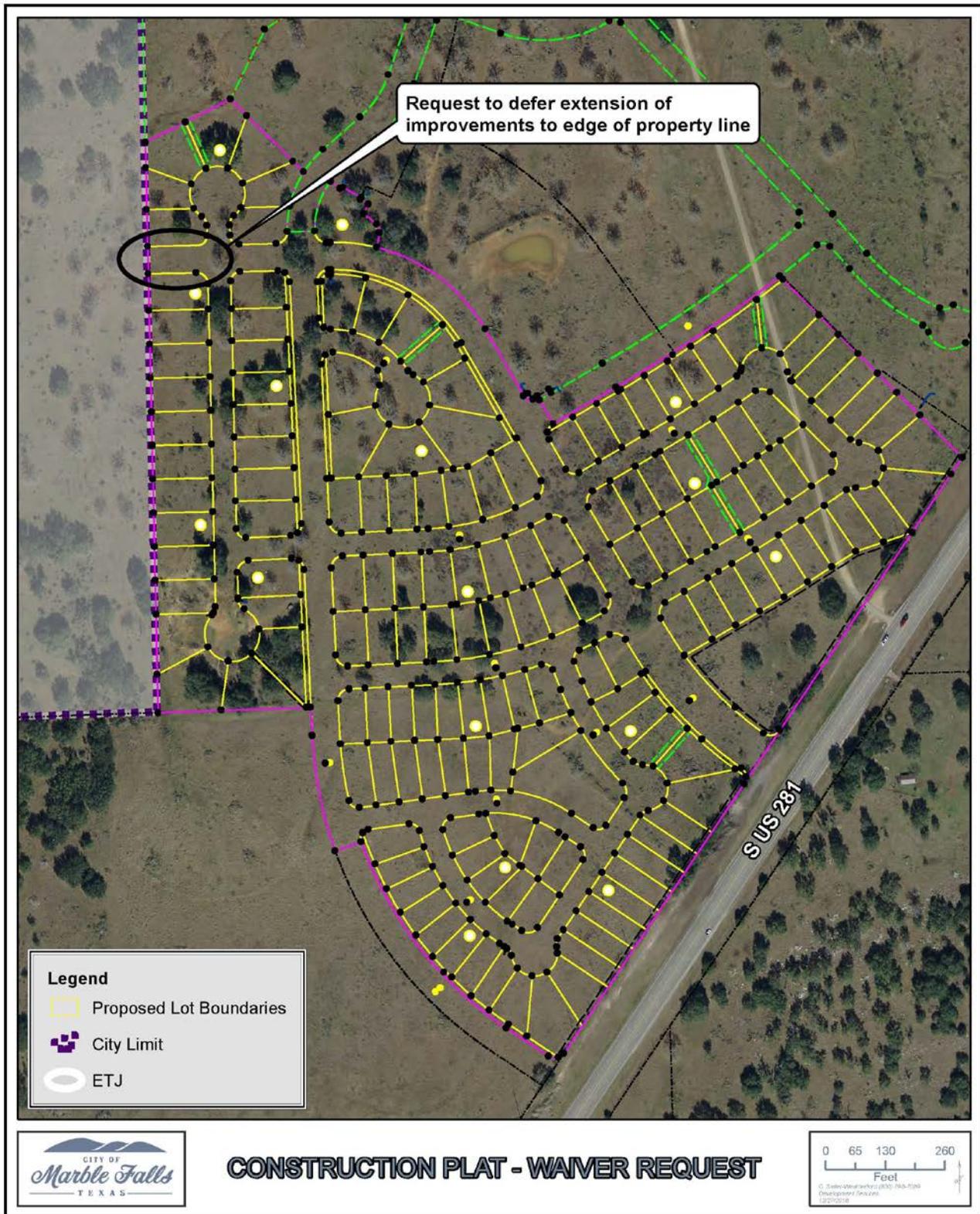


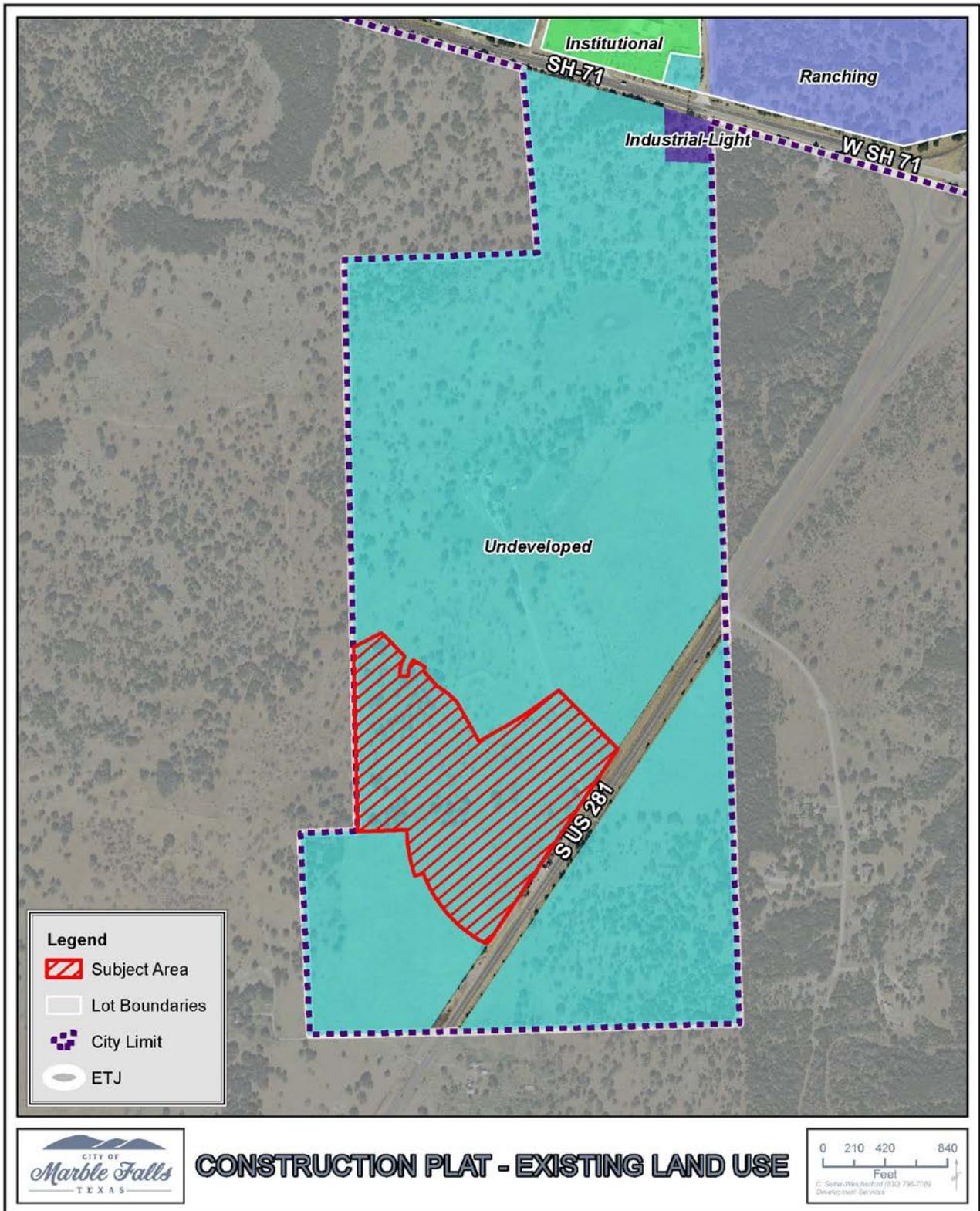


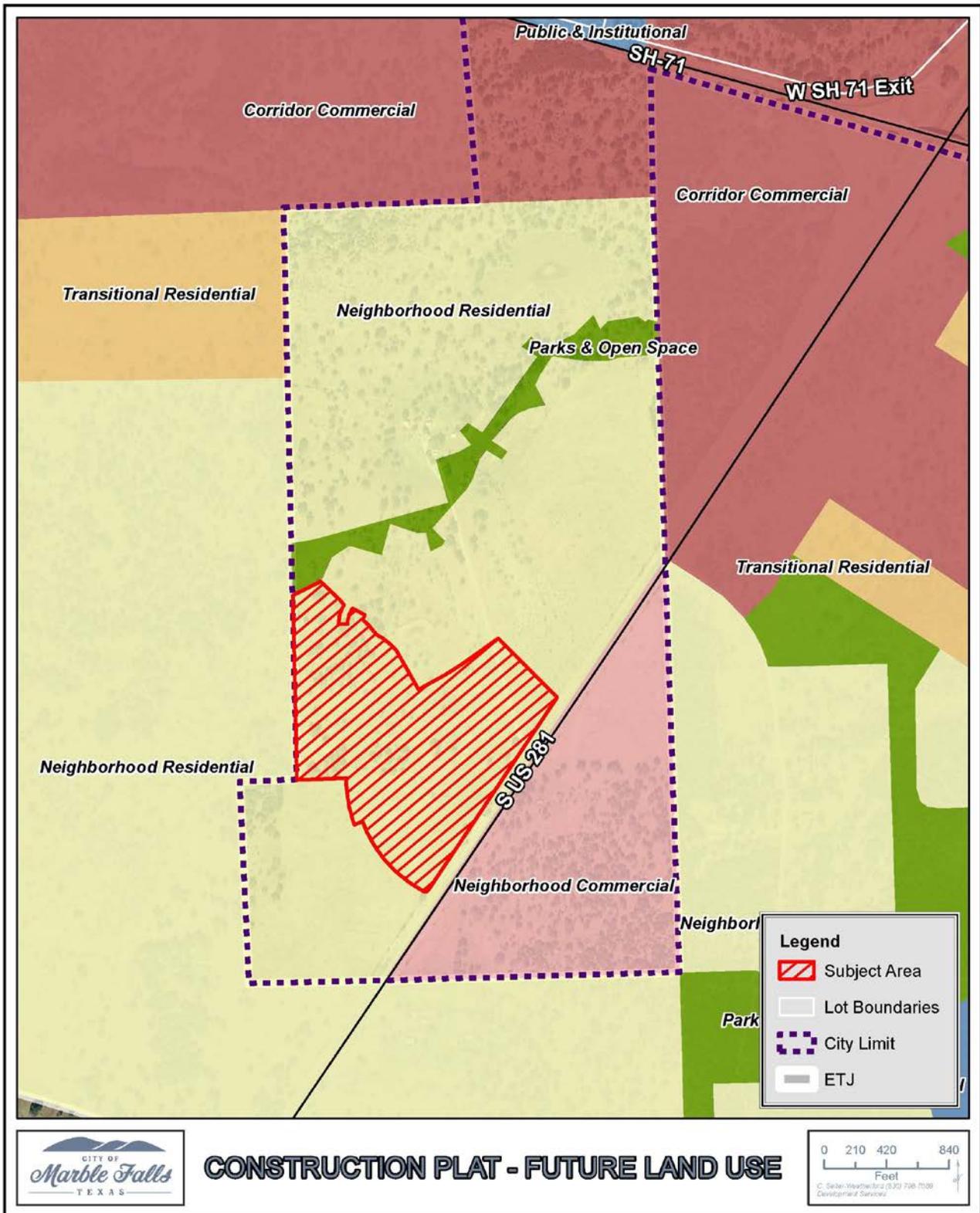






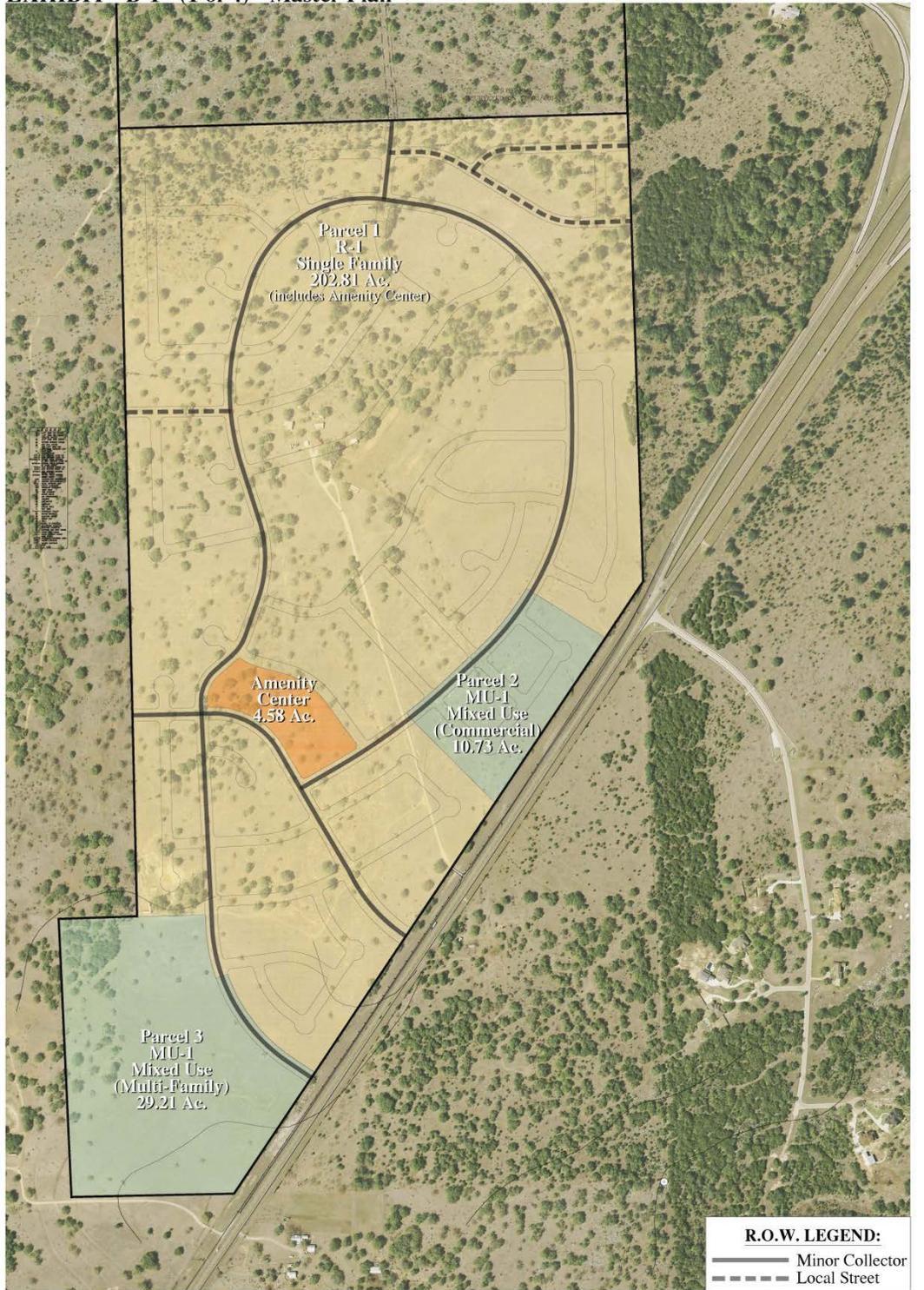






2016-17-CP Master Plan

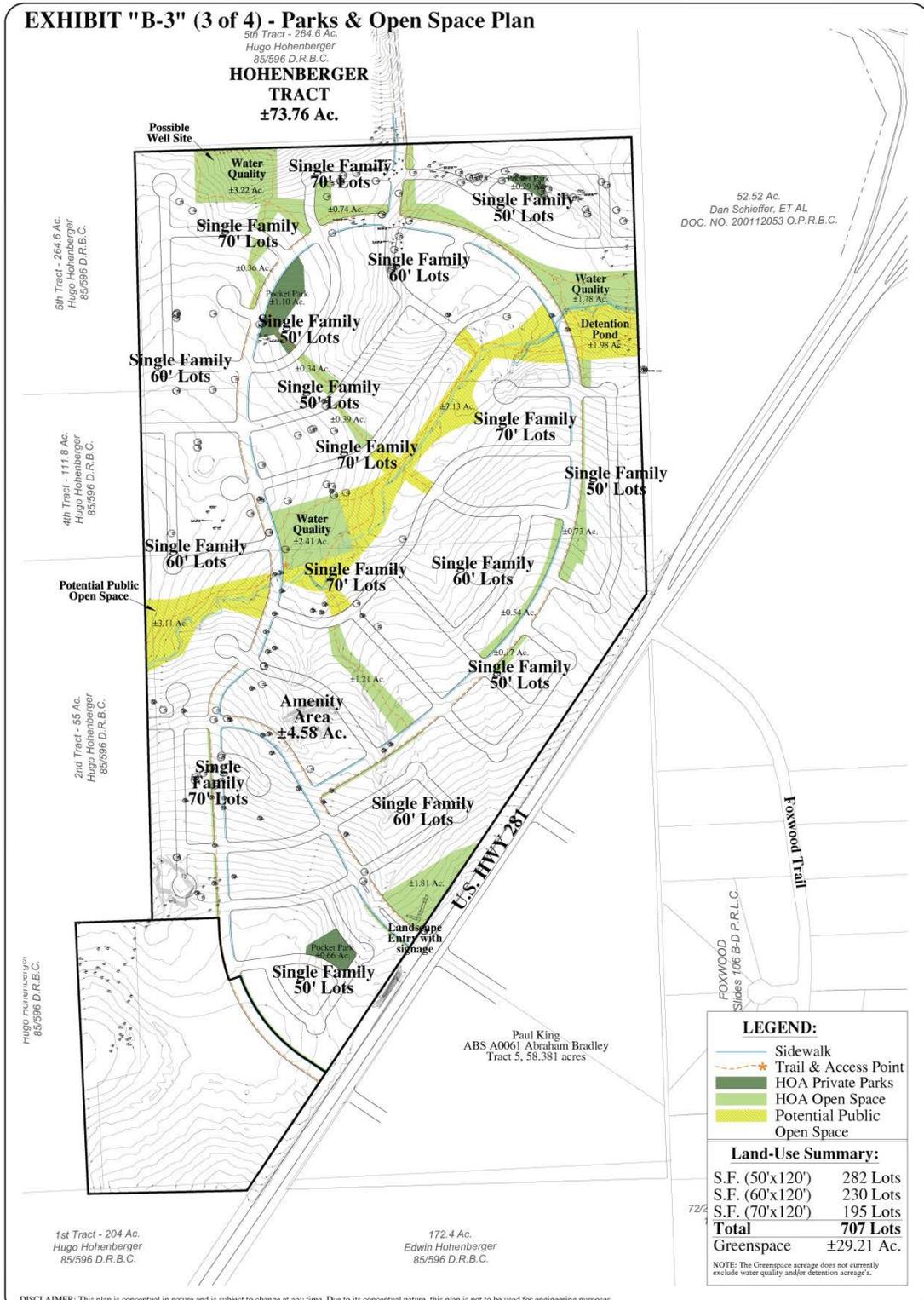
EXHIBIT "B-1" (1 of 4) - Master Plan



SHEET	LAND STRATEGIES INC.	32	1010 LAND CREEK CV. SUITE 100 AUSTIN, TX 78748 PH: (512) 338-6050 FAX: (512) 338-6172 LSI@LandStrat.COM	PROJECT ADDRESS: US Highway 281 & State Highway 71 West PROJECT NAME: MASTER PLAN	CLIENT INFORMATION: HARVARD INVESTMENTS 1720 North Deaneville Way Scottsdale, AZ 85255 Phone: 480.381.1118 Fax: 480.381.9776	 SCALE: 1" = 200'
	OF		PAUL LINEHAN & ASSOCIATES			

2016-17-CP Parks, Open Space, and Amenities Plan

EXHIBIT "B-3" (3 of 4) - Parks & Open Space Plan



SHEET	LAND STRATEGIES INC. <small>OF</small> PAUL LINEHAN & ASSOCIATES	(800) 231-3113 32 MARBLE FALLS, TEXAS	1910 LAND CREEK CV. SUITE 100 AUSTIN, TX 78748 TEL: (512) 358-0050 FAX: (512) 358-6172 LSW@landstrat.com	GREGG RANCH PROJECT ADDRESS: 175 Highway 20 & Ross Highway 71 West LAUREL, TX 76044 PARKS & OPEN SPACE PLAN	CLIENT INFORMATION: GREGG RANCH HARVARD INVESTMENTS 1700 North Passcote Way Springdale, TX 75782 Phone: 409.548.1118 Fax: 409.548.8976	 SCALE: 1" = 200'
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2016-17-CP Amended Phasing Plan

EXHIBIT "B-2" (2 of 4) - Phasing Plan



PHASING:

PHASE 1: ±45.47 Ac.	
S.F. (50'x120')	51 Lots
S.F. (60'x120')	64 Lots
S.F. (70'x120')	40 Lots
Total	155 Lots
PHASE 2: ±40.66 Ac.	
S.F. (50'x120')	27 Lots
S.F. (60'x120')	46 Lots
S.F. (70'x120')	39 Lots
Total	112 Lots
PHASE 3: ±31.04 Ac.	
S.F. (50'x120')	13 Lots
S.F. (60'x120')	53 Lots
S.F. (70'x120')	36 Lots
Total	102 Lots
PHASE 4: ±10.73 Ac.	
S.F. (50'x120')	46 Lots
S.F. (60'x120')	0 Lots
S.F. (70'x120')	0 Lots
Total	46 Lots
PHASE 5: ±43.47 Ac.	
S.F. (50'x120')	78 Lots
S.F. (60'x120')	26 Lots
S.F. (70'x120')	47 Lots
Total	151 Lots
PHASE 6: ±42.17 Ac.	
S.F. (50'x120')	67 Lots
S.F. (60'x120')	41 Lots
S.F. (70'x120')	33 Lots
Total	141 Lots
PHASE 7: ±29.21 Ac.	
T.B.D.	N/A
Total	N/A
TOTAL	707 Lots
	±242.74 Ac.

DISCLAIMER: This plan is conceptual in nature and is subject to change at any time. Due to its conceptual nature, this plan is not to be used for engineering purposes.

<p>SHEET</p> <p>LAND STRATEGIES INC.</p> <p>PAUL L. INDIAN & ASSOCIATES</p>	<p>33</p>	<p>1810 LAND CREEK CV. SHEET 100 MUSKOGEE, TX 78716 PH: (512) 328-0956 FAX: (512) 328-6172 ESOC.com@net.com</p>	<p>GREGG RANCH</p> <p>PLANNING PLAN</p>	<p>CLIENT INFORMATION</p> <p>BLISSARD INVESTMENT 11705 SADDLEVIEW DR DALLAS, TX 75244 Phone: 214.341.1111 Fax: 214.341.1111</p>	<p>SCALE: 1" = 200'</p>
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2016-17-CP Land Use and Site Development Standards

Exhibit "E" - Land Use and Standards Table

Parcel	Base District	Permitted Land Uses	Conditional Use Permit Land Uses	Special Regulations for Specific Land Uses	Site Development Regulations
1	R-1	<p><i>RESIDENTIAL USES</i></p> <p>Single-family residential</p> <p><i>CIVIC USES</i></p> <p>Community recreation</p> <p>Day care (limited)</p> <p>Local utility services</p> <p>Park and recreation services</p> <p>Primary education facilities</p> <p>Religious assembly</p> <p>Safety services</p> <p>Secondary education services</p>		<p><i>RESIDENTIAL USES</i></p> <p>Minimum lot width 30 ft.; Minimum lot area 3,000 s.f., so long as no more than 20% of Parcel 1 overall is provided this reduced lot width/area. The remaining 80% of Parcel 1 will be required to comply with Minimum lot width of 50 feet and Minimum lot area of 6,000 s.f.</p>	<p><i>RESIDENTIAL USES</i></p> <p>Lot area Min. 6,000 s.f.¹</p> <p>Lot width Min. 50 feet</p> <p>Residential Density Max. 1 unit per lot</p> <p>Height Max. 35 feet</p> <p>Building living area Min. 900 s.f.</p> <p>Front yard Min. 25 feet</p> <p>Street side yard Min. 15 feet</p> <p>Interior side yard Min. 5 feet</p> <p>Rear yard Min. 10 feet</p>

¹ Minimum lot area may be reduced as described under Special Regulations for Specific Land Uses herein.

2016-17-CP Street Plan

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File: K:\14-109.4 Phase 1\DESIGN\PLAN SHEETS\INTERLUCK\PLAN.dwg			
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Date: 01/16/16	Scale (Plot): NONE		
Rev. No.	Date	Checked By: MS	Drawn By: GK
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3			
4			

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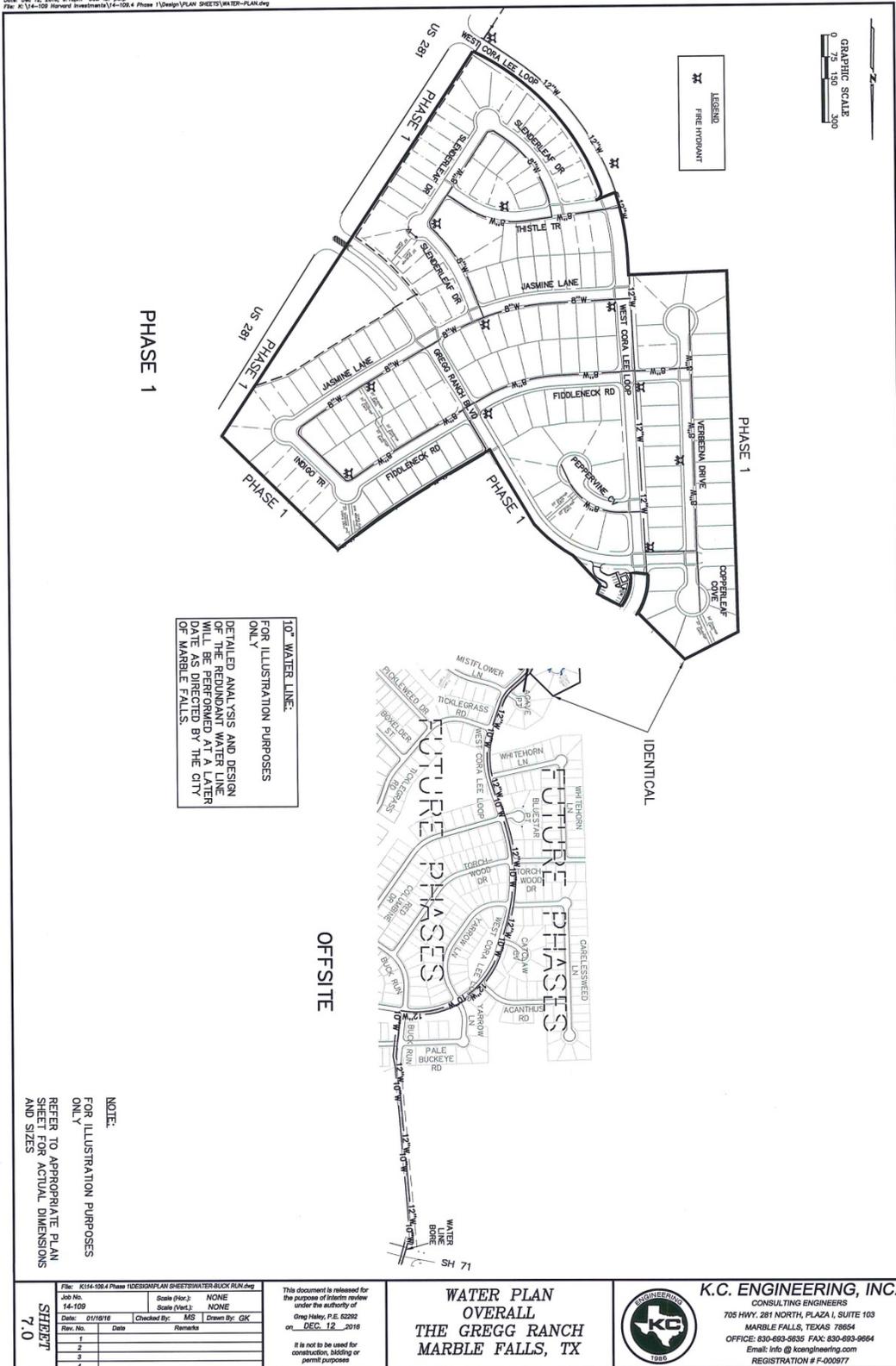
STREET PLAN
OVERALL
THE GREGG RANCH
MARBLE FALLS, TX



K.C. ENGINEERING, INC.
 CONSULTING ENGINEERS
 705 HWY. 281 NORTH, PLAZA I, SUITE 103
 MARBLE FALLS, TEXAS 78654
 OFFICE: 830-693-9635 FAX: 830-693-9664
 Email: info@kceengineering.com
 REGISTRATION # F-000977

2016-17-CP Water Plan

Date: Dec 12, 2016, 9:10am User ID: pmlp
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10" WATER LINE:
FOR ILLUSTRATION PURPOSES
ONLY
DETAILED ANALYSIS AND DESIGN
OF THE REDUNDANT WATER LINE
WILL BE PERFORMED AT A LATER
DATE AS DIRECTED BY THE CITY
OF MARBLE FALLS.

NOTE:
FOR ILLUSTRATION PURPOSES
REFER TO APPROPRIATE PLAN
SHEET FOR ACTUAL DIMENSIONS
AND SIZES

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Rev. No.	Date	Remarks
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2		
3		
4		

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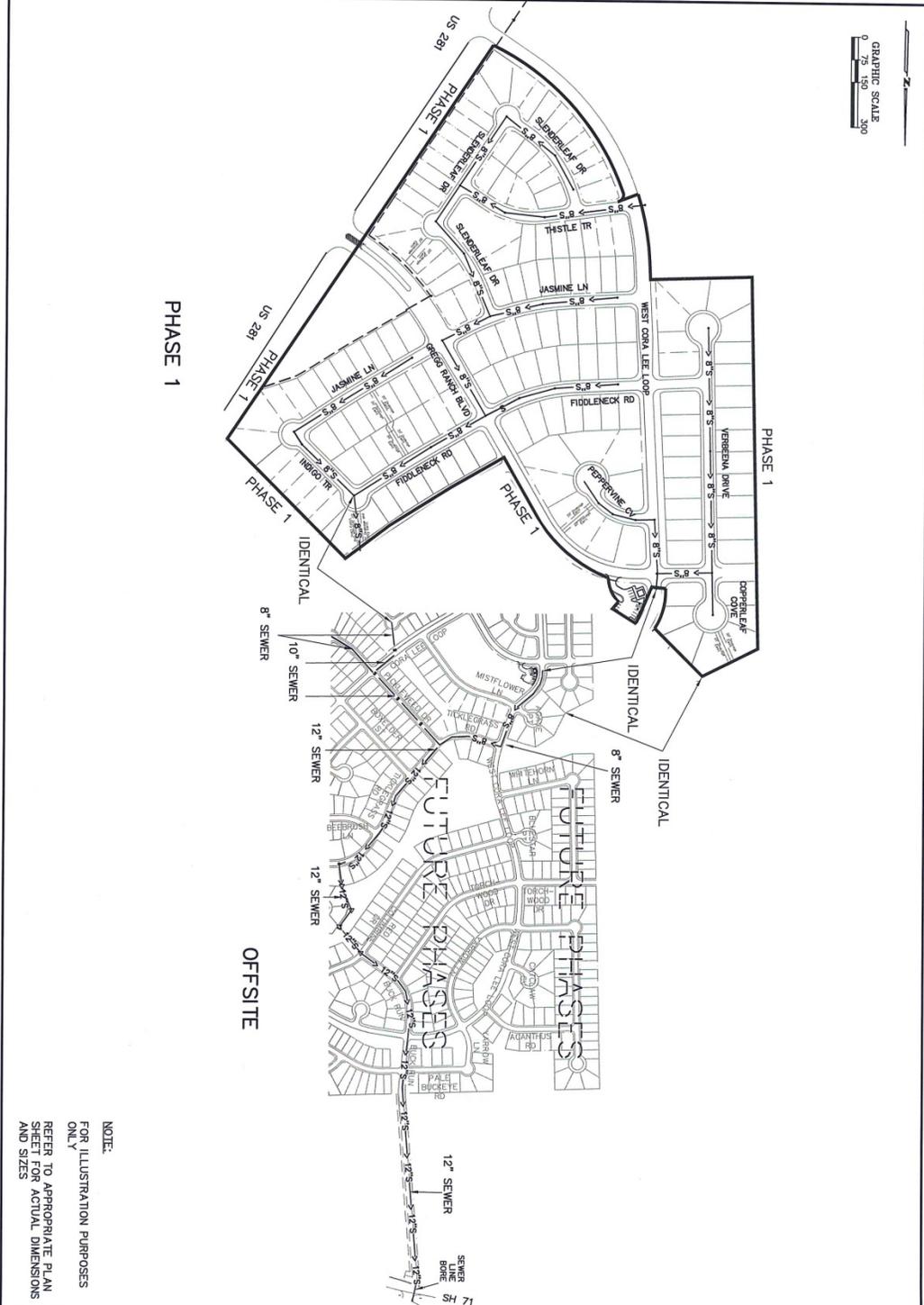
**WATER PLAN
OVERALL
THE GREGG RANCH
MARBLE FALLS, TX**



K.C. ENGINEERING, INC.
CONSULTING ENGINEERS
705 HWY. 281 NORTH, PLAZA I, SUITE 103
MARBLE FALLS, TEXAS 78654
OFFICE: 830-693-6635 FAX: 830-693-9664
Email: info@kceengineering.com
REGISTRATION # F-068977

2016-17-CP Wastewater Plan

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NOTE:
FOR ILLUSTRATION PURPOSES
ONLY
REFER TO APPROPRIATE PLAN
SHEET FOR ACTUAL DIMENSIONS

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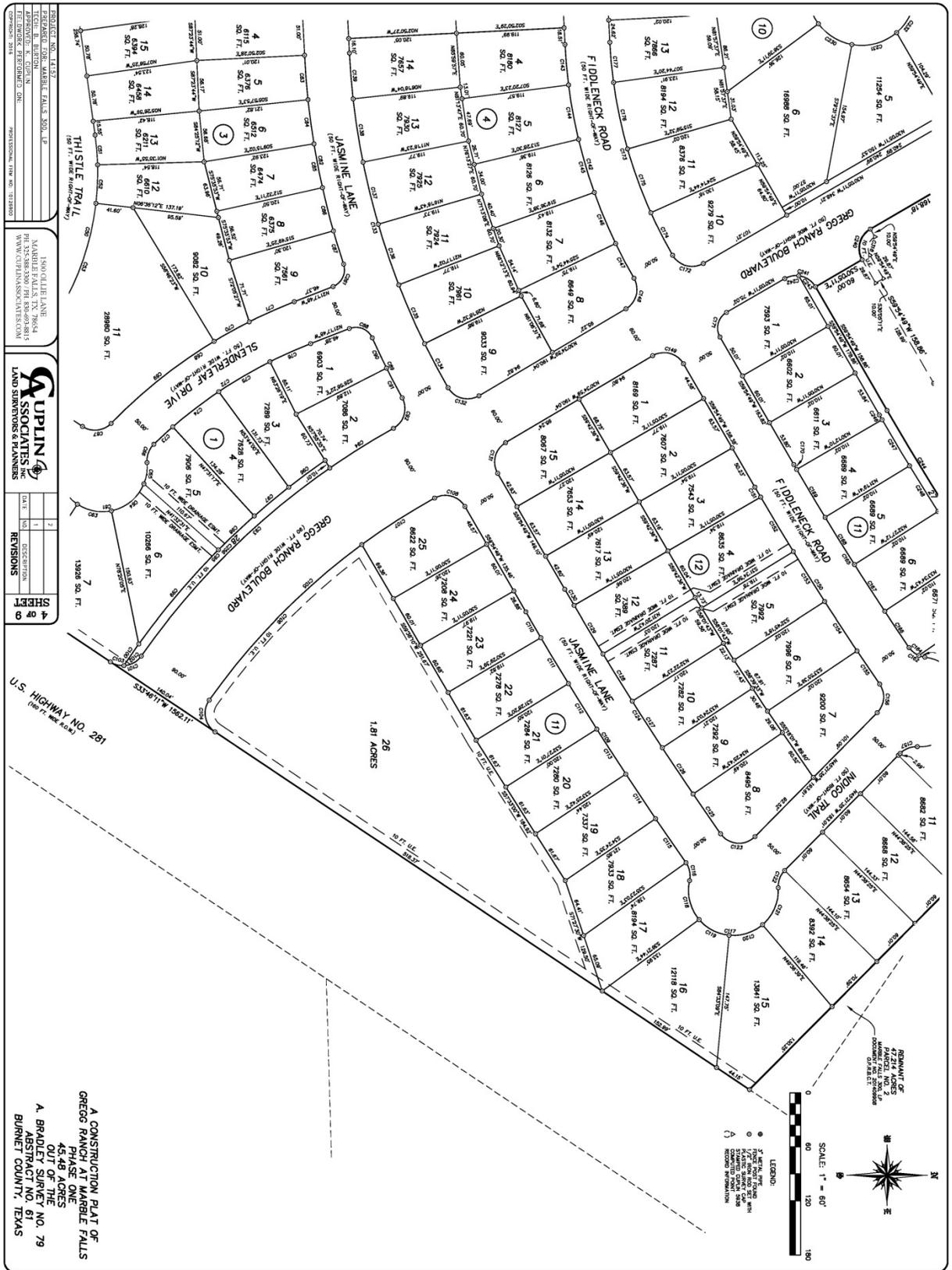
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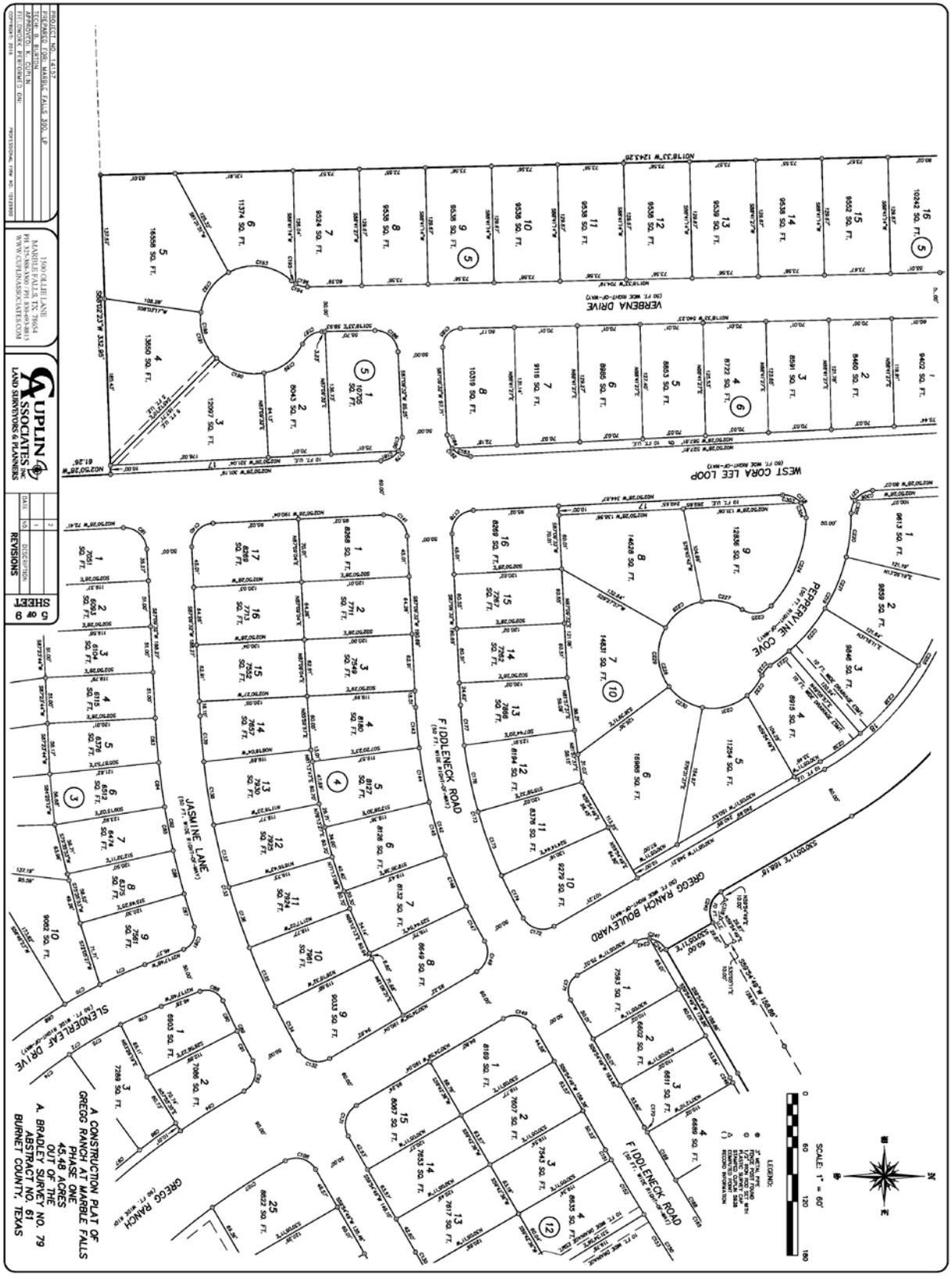
**SEWER PLAN
OVERALL
THE GREGG RANCH
MARBLE FALLS, TX**

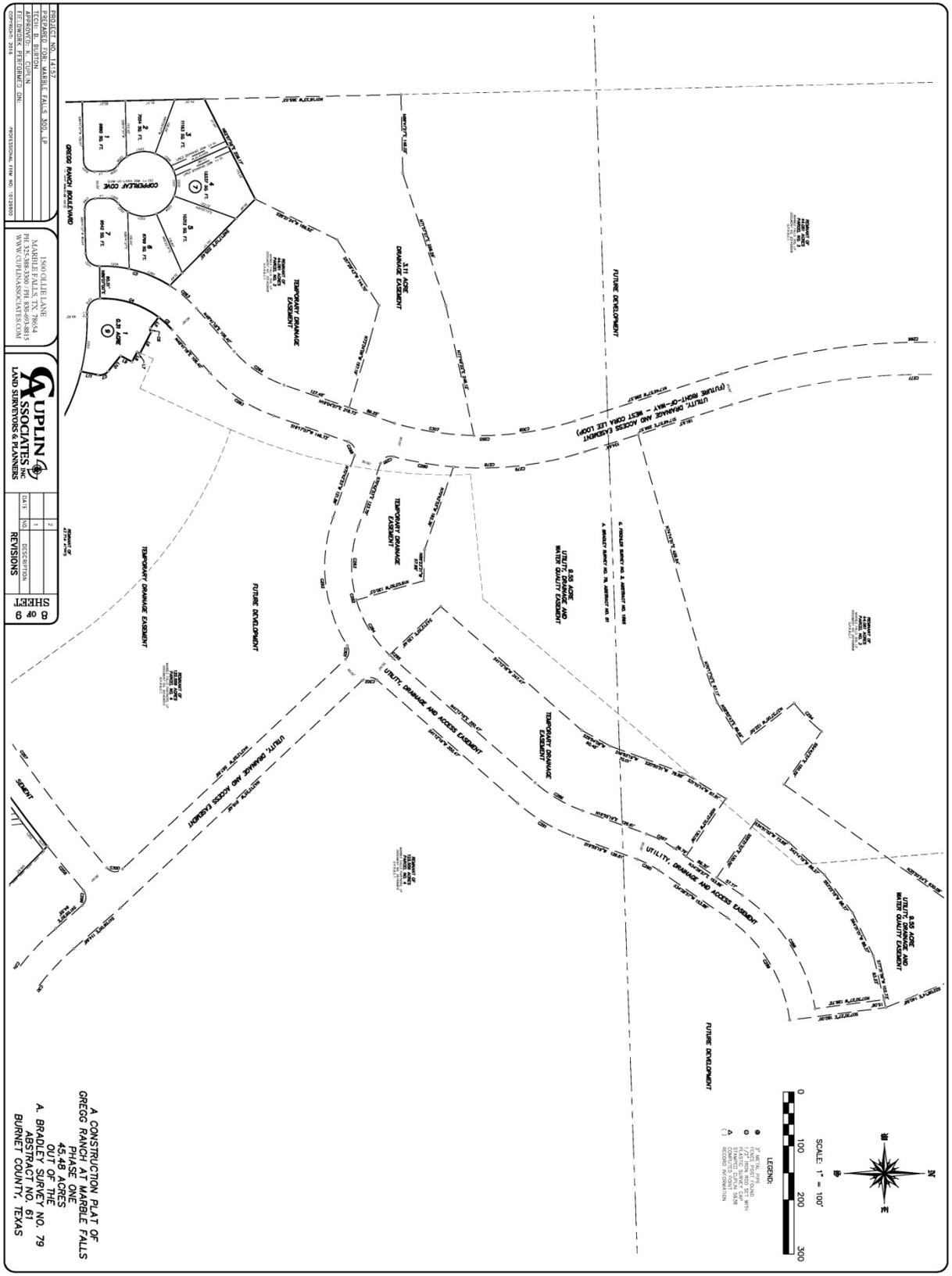


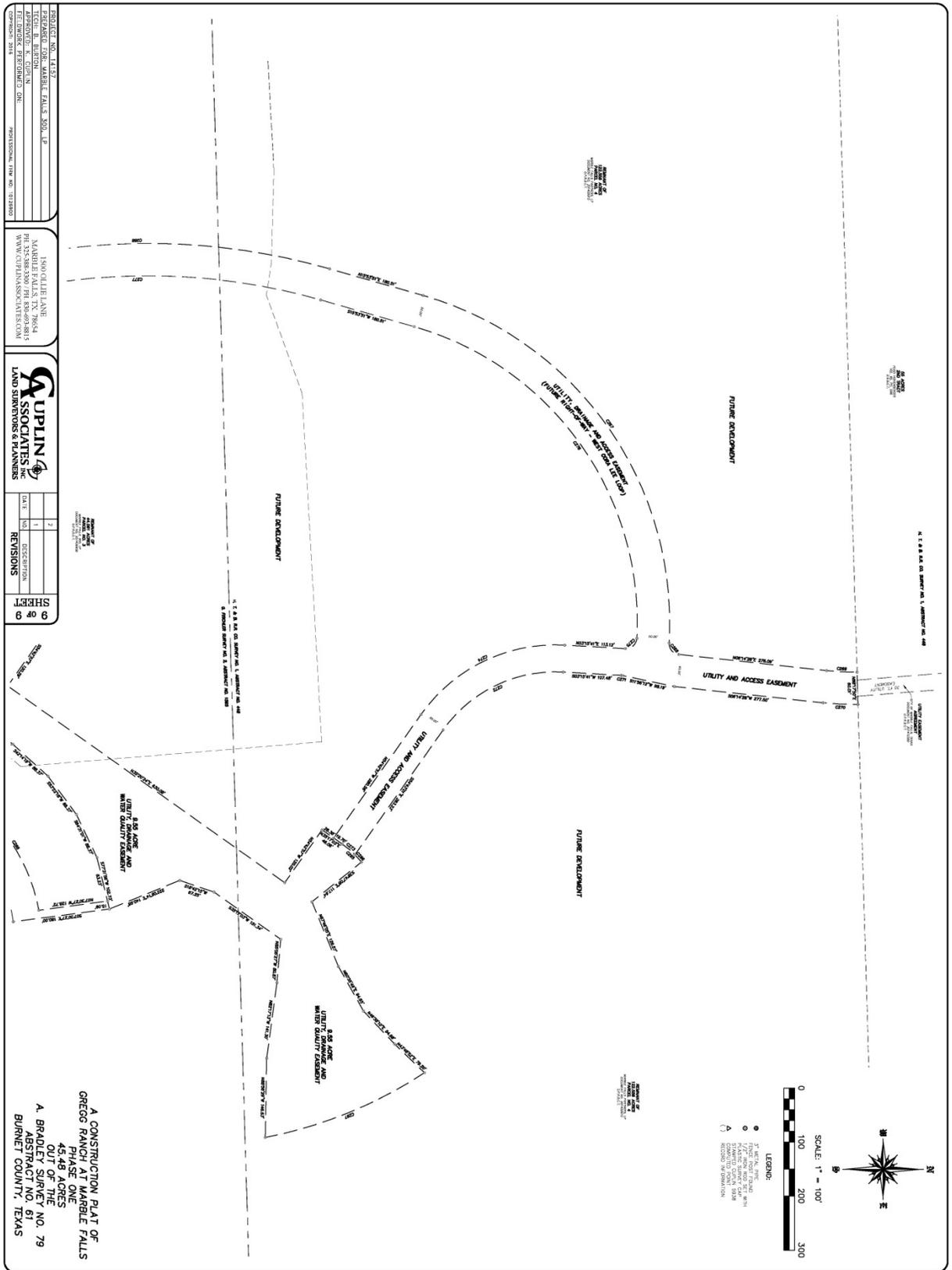
K.C. ENGINEERING, INC.
CONSULTING ENGINEERS
705 HWY. 281 NORTH, PLAZA I, SUITE 103
MARBLE FALLS, TEXAS 78054
OFFICE: 830-693-5635 FAX: 830-693-0664
Email: info@kceengineering.com
REGISTRATION # F-000277

CDM#	DELTA ANGLE	STATUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
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C151	1.10	25.00	6.87	N1466.33°E	24.17
C152	1.10	25.00	6.87	N1475.97°E	24.17
C153	1.10	25.00	6.87	N1485.61°E	24.17
C154	1.10	25.00	6.87	N1495.25°E	24.17
C155	1.10	25.00	6.87	N1504.89°E	24.17
C156	1.10	25.00	6.87	N1514.53°E	24.17
C157	1.10	25.00	6.87	N1524.17°E	24.17
C158	1.10	25.00	6.87	N1533.81°E	24.17
C159	1.10	25.00	6.87	N1543.45°E	24.17
C160	1.10	25.00	6.87	N1553.09°E	24.17
C161	1.10	25.00	6.87	N1562.73°E	24.17
C162	1.10	25.00	6.87	N1572.37°E	24.17
C163	1.10	25.00	6.87	N1582.01°E	24.17
C164	1.10	25.00	6.87	N1591.65°E	24.17
C165	1.10	25.00	6.87	N1601.29°E	24.17
C166	1.10	25.00	6.87	N1610.93°E	24.17
C167	1.10	25.00	6.87	N1620.57°E	24.17
C168	1.10	25.00	6.87	N1630.21°E	24.17
C169	1.10	25.00	6.87	N1640.85°E	24.17
C170	1.10	25.00	6.87	N1650.49°E	24.17
C171	1.10	25.00	6.87	N1660.13°E	24.17
C172	1.10	25.00	6.87	N1670.77°E	24.17
C173	1.10	25.00	6.87	N1680.41°E	24.17
C174	1.10	25.00	6.87	N1690.05°E	24.17
C175	1.10	25.00	6.87	N1700.69°E	24.17
C176	1.10	25.00	6.87	N1710.33°E	24.17
C177	1.10	25.00	6.87	N1720.97°E	24.17
C178	1.10	25.00	6.87	N1730.61°E	24.17
C179	1.10	25.00	6.87	N1740.25°E	24.17
C180	1.10	25.00	6.87	N1750.89°E	24.17
C181	1.10	25.00	6.87	N1760.53°E	24.17
C182	1.10	25.00	6.87	N1770.17°E	24.17
C183	1.10	25.00	6.87	N1780.81°E	24.17
C184	1.10	25.00	6.87	N1790.45°E	24.17
C185	1.10	25.00	6.87	N1800.09°E	24.17
C186	1.10	25.00	6.87	N1810.73°E	24.17
C187	1.10	25.00	6.87	N1820.37°E	24.17
C188	1.10	25.00	6.87	N1830.01°E	24.17
C189	1.10	25.00	6.87	N1840.65°E	24.17
C190	1.10	25.00	6.87		











**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. F. Presentation and Discussion: Regarding previous Planning and Zoning Commission items, City Council Disposition and update regarding future planning projects.
Requested by: Planning & Zoning Commission

SYNOPSIS

This item is to update Commission regarding previous Planning and Zoning Commission items, City Council Disposition and update regarding future planning projects.

1. 2016-30-CP Mustang Ridge Construction Plat
2. 2016-34-PDD Gregg Ranch PDD Amendment
3. Roper Voluntary Annexation
4. Zoning/Land Use Regulation Update
5. Commission Reappointments considered by Council on January 17th



**City of Marble Falls
Planning and Zoning Commission Agenda Cover Memo
January 5, 2017**

To: Chairman and Planning & Zoning Commission
Item 3. G. **Presentation and Discussion:** Monthly Building Permit Summary;
Construction Update.
Requested by: City Staff

SYNOPSIS

This item is to update the Commission about the building permits issued in the past month and other ongoing projects.

For a quick reference to some of the major permitted development projects in Marble Falls, you can refer to the 'Development Buzz' portion of our website:

<http://marblefallstx.gov/541/Development-BUZZ>

Item 4. ADJOURNMENT